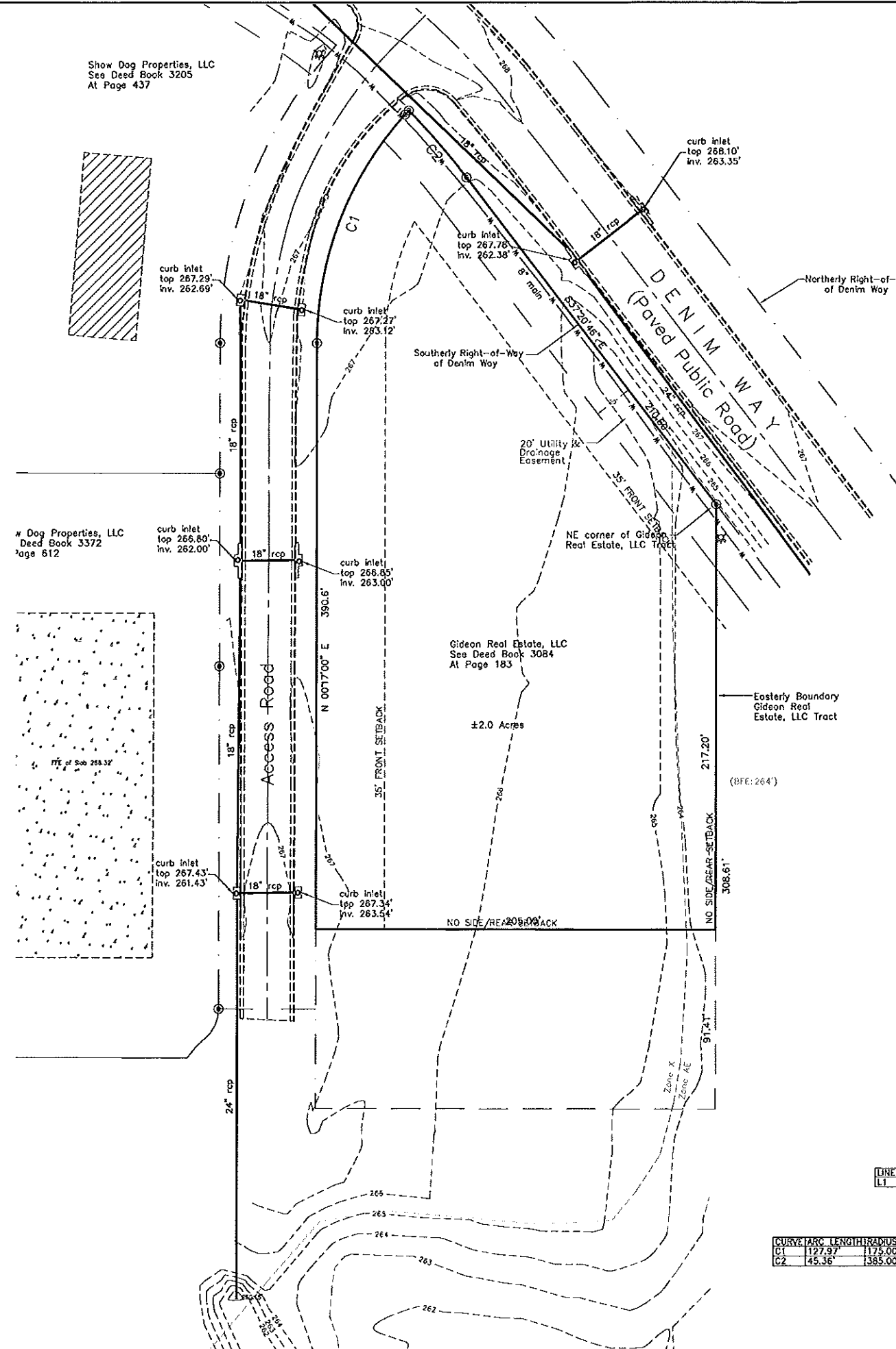




Show Dog Properties, LLC  
See Deed Book 3205  
At Page 437



Show Dog Properties, LLC  
Deed Book 3372  
Page 612

Gideon Real Estate, LLC  
See Deed Book 3084  
At Page 183

Easterly Boundary  
Gideon Real Estate, LLC Tract

Class "A" survey in accordance with the minimum standards for land surveying in the State of Mississippi.

Subsurface and environmental conditions were not examined or considered as a part of this survey.

Underground utilities are based on physical evidence, maps provided by utility companies, and utility locate service personnel. Some utilities shown on this plot may be approximate only. Should call MS One-Call before any digging.

Property located in Zone X and AE as referenced on FEMA Map 28089 C 415F, dated March 17, 2010.

This is not a boundary survey. The boundary survey was provided by the owner and was performed by Mcmasters and Associates.

This TOPOGRAPHIC survey was performed and this plat was prepared by Floyd & Baird Engineering, 130 E. Northside Drive, Clinton, MS 39058 Phone: (601) 925-5015

This survey is considered valid only when original seal and signature of surveyor of record is affixed hereto.

I, Colin L. Baird, do hereby certify that the features depicted on this plat are a correct representation of the conditions as they existed on November 9, 2017.

Date of field survey: February 6, 2018.

Elevations referenced to NAVD88.

Reference Bearing taken from GPS grade survey equipment and is referenced to Grid North, SPC MS West.

**LEGEND**

- 1/2" IRON REBAR FOUND
- 1/2" IRON REBAR SET (18" long)
- ⊠ CABLE PEDESTAL
- ⊡ UTILITY POLE
- ⊕ GAS VALVE
- ⊗ WATER VALVE
- ⊞ FIRE HYDRANT
- ⊠ TELEPHONE PEDESTAL
- ⊟ SIGN
- ⊠ STORM INLET
- ⊙ SAN SEWER MANHOLE
- ⊙ SOIL BORING
- SAN SEWER
- GAS LINE
- UNDERGROUND TELECOMMUNICATION
- CONTOURS
- OVERHEAD POWER
- UNDERGROUND ELECTRIC
- WATER MAIN
- ⊙ LIGHT POLE
- ⊠ WATER METER
- ⊙ SEWER CLEANOUT
- ⊠ POWER METER
- ⊠ GAS METER

LINE	BEARING	DISTANCE
L1	N 42°02'05"	12.89'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	127.97'	175.00'	41°53'47"	N 21°05'11" E	125.13'
C2	45.36'	385.00'	6°45'03"	S 40°52'00" E	45.34'

PROPERTY ZONED C-2 (Highway Commercial District)

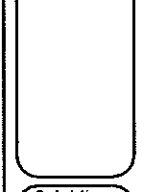
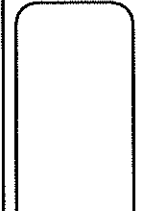
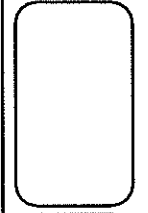
Front Yard = 35'  
Side Yard = none  
Rear Yard = none

Max. Building Height = 40' or 3 stories

Min. Lot Area = 1/2 acre

Max. Buildable Area = The sum of all buildings and accessory structures, not to exceed 50% of the area of lot.

No.	Revisions	By	Date

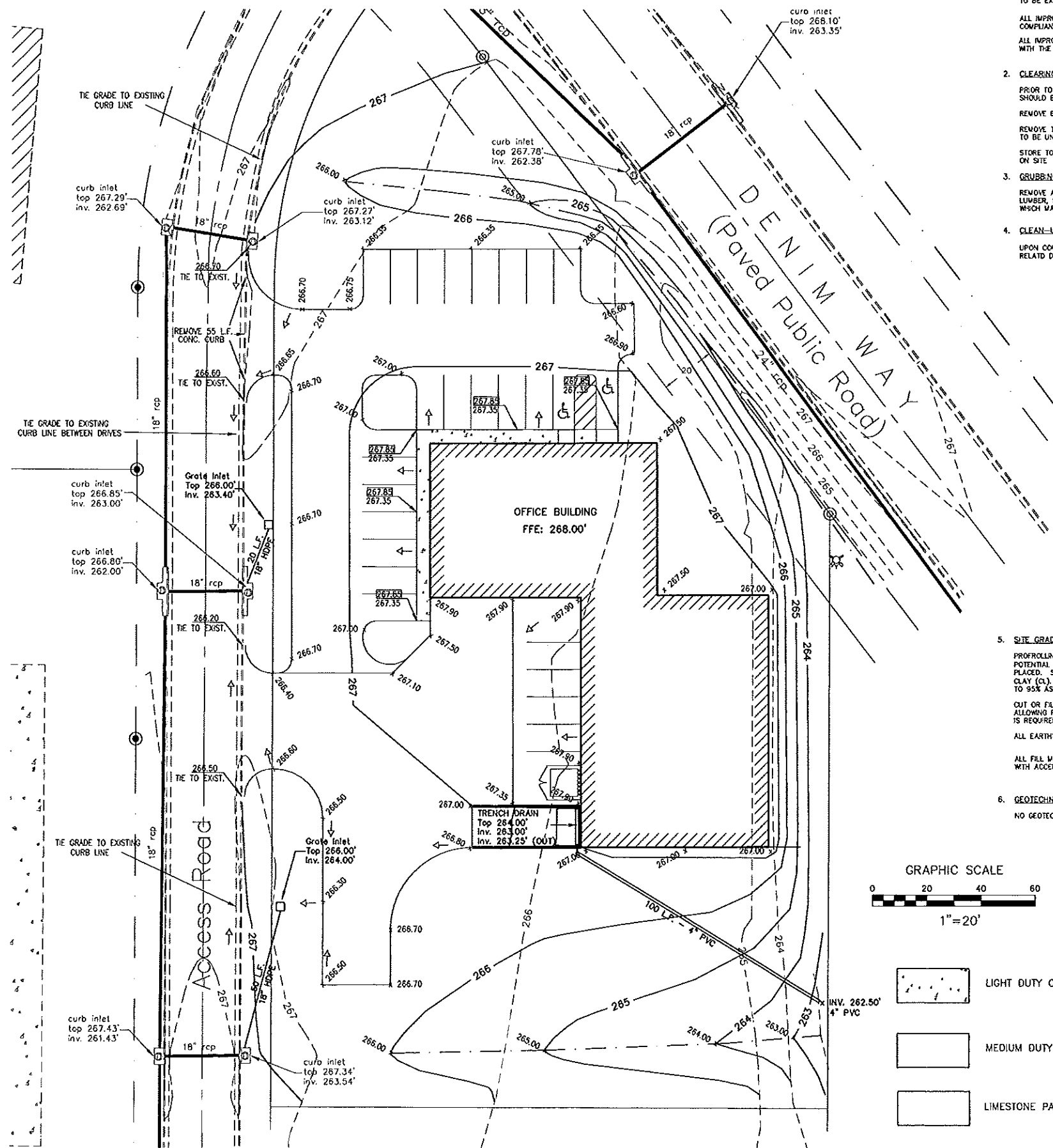
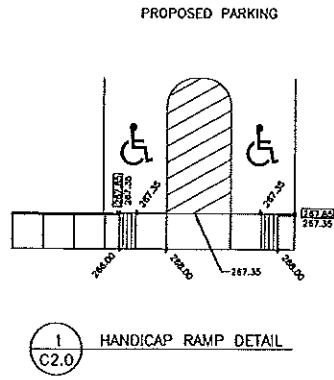


Project No:	# 3680
Date:	02/15/2018
Scale:	1" = 30'
Designed By:	CLB
Reviewed By:	CLB

CRJT BUILDING  
 TOPOGRAPHIC SURVEY  
 GLUCKSTADT, MISSISSIPPI

SHEET  
C 0.0

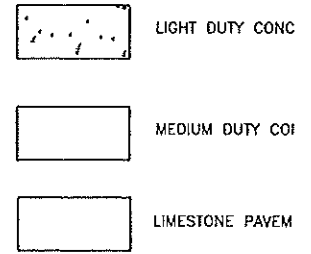
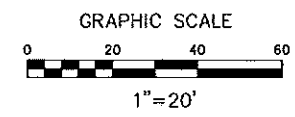




**SITE PREPARATION NOTES**

- GENERAL**  
THE CONTRACTOR SHALL REMOVE ALL INFRASTRUCTURE AND VEGETATION FROM THE AREA TO BE EXCAVATED, FILLED, OR GRADED.  
ALL IMPROVEMENTS AND ADDITIONS TO THE SANITARY SEWER SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH THE CANTON MUNICIPAL UTILITY STANDARDS.  
ALL IMPROVEMENTS AND ADDITIONS TO THE WATER SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH THE BEAR CREEK WATER ASSOCIATION STANDARDS.
- CLEARING**  
PRIOR TO CUT AND REPLACEMENT OF FILL ON SITE, APPROXIMATELY 6 INCHES OF TOPSOIL SHOULD BE REMOVED WHERE ENCOUNTERED.  
REMOVE BRUSH, ROOTS, LARGE GRASS, ROCKS, AND WEEDS BEFORE STRIPPING.  
REMOVE TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES IN ALL AREAS INDICATED ON THE PLANS TO BE UNDER BUILDING, DRIVES, PARKING, SIDEWALKS, AND OTHER PAVING.  
STORE TOPSOIL APPROVED FOR FILL IN GENERAL LANDSCAPE AREAS AT DESIGNATED LOCATIONS ON SITE.
- GRUBBING**  
REMOVE ASPHALT, CONCRETE CURBS, LIGHTING POLES AND FOUNDATIONS, TRASH, STUMPS, OLD LUMBER, STRUCTURES, ETC. EITHER ABOVE, ON THE NEW SURFACE, OR BELOW THE GROUND WHICH MAY INTERFERE WITH THE NEW CONSTRUCTION, IF APPLICABLE.
- CLEAN-UP**  
UPON COMPLETION OF WORK OF THIS SECTION, REMOVE FROM PREMISES, AND DISPOSE OF ALL RELATED DEBRIS. IMPLEMENT EROSION CONTROL PLAN.

- SITE GRADING**  
PROFILING WITH A LOADED TRUCK OR SCRAPER SHOULD BE PERFORMED TO LOCATE POTENTIAL SOFT SPOTS IN THE SUBGRADE AND/OR NATURAL GROUND BEFORE ANY FILL IS PLACED. SOFT SPOTS SHOULD BE REMOVED AND REPLACED WITH COMPACTED STABLE SANDY CLAY (CL). THE TOP 6 INCHES OF NATURAL GROUND SHOULD BE SCARIFIED AND COMPACTED TO 95% ASTM D693 PRIOR TO FILL PLACEMENT.  
OUT OR FILL AND MACHINE GRADE SITE AS SHOWN ON THE DRAWINGS TO DRAIN AS INDICATED, ALLOWING FOR THE THICKNESS OF PAVING SUBGRADE AND THE PAVING ITSELF. WHERE FILL IS REQUIRED, USE PER GEOTECHNICAL REPORT.  
ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.  
ALL FILL MATERIALS DESCRIBED IN GEOTECHNICAL REPORT MUST BE REMOVED AND REPLACED WITH ACCEPTABLE FILL MATERIAL.
- GEOTECHNICAL REPORT**  
NO GEOTECHNICAL REPORT PROVIDED



- LEGEND**
- PROPOSED CONCRETE CURB
  - 1/2" IRON REBAR FOUND
  - 1/2" IRON REBAR SET
  - ♿ HANDICAP PARKING
  - PROPERTY LINE
  - DIRECTION OF FLOW
  - 365.50' x TOP OF CURB ELEV.
  - x 368.00' TOP OF PAVEMENT ELEV.
  - Ⓧ DOWNSPOUT (DETAIL 2/C2.0)

Revisions:	By:	Date:
No.		

FLOYD & BAIRD ENGINEERING, INC.  
130 E. Northside Drive, Clinton, MS 39056  
Phone: 662.343.1015  
www.floydandbaird.com

Project No: # 3650  
Date: 02/15/2018  
Scale: 1" = 20'  
Designed By: CLB  
Reviewed By: CLB

**GRADING & DRAINAGE PLAN**  
**CRJT BUILDING**

SHEET  
C2.0

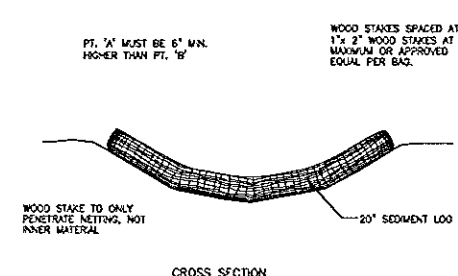
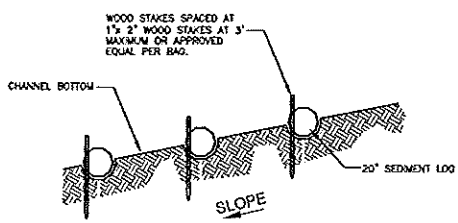
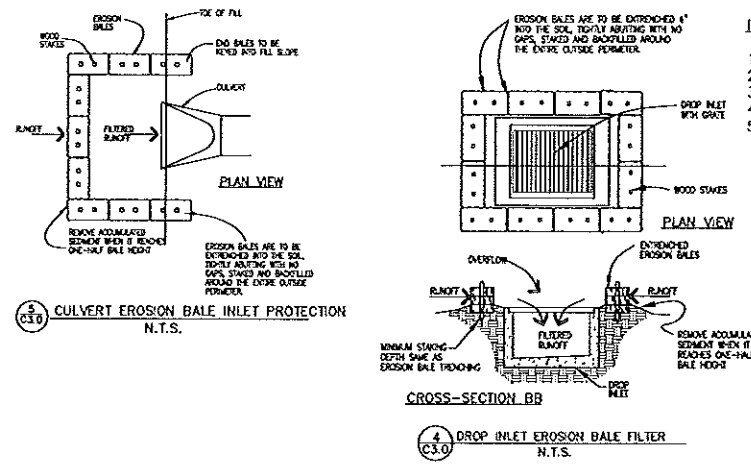
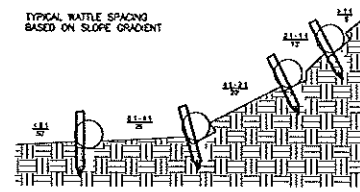
CONSTRUCTION SEQUENCE

Implementation BMP Sequence:

1. Build construction entrance/exit
2. Rough grade site, stockpile topsoil (with silt fence), install silt fences
3. Construct ditches, swales and basins (as needed)
4. Construct buildings, parking areas, utilities and drives
5. Seed disturbed areas

Maintenance Plan:

Check all disturbed areas, erosion and sediment controls after each significant rainfall but not less than once per week. Make needed repairs within 24 hours. Remove sediment from basin, inlet protection devices and silt fences, when accumulated sediment reaches 65 percent capacity. Replace non-functional silt fence. Maintain all vegetated areas to provide proper ground cover, re-seed, fertilize, and mulch as needed.



PURSUANT TO ADOPTED STORM WATER MANAGEMENT PLANS FOR NON-RESIDENTIAL USERS, THE FOLLOWING INFORMATION IS PROVIDED:

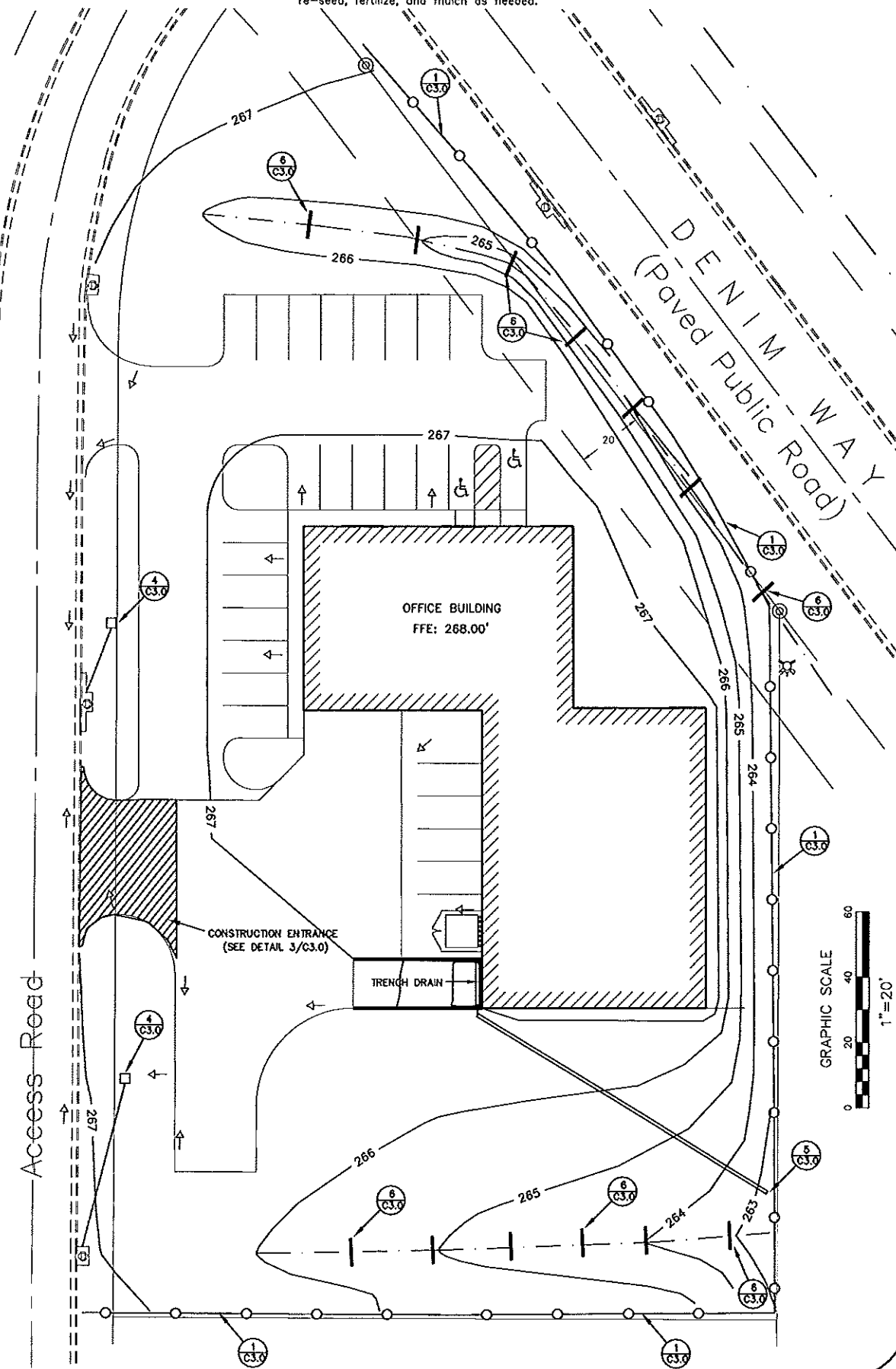
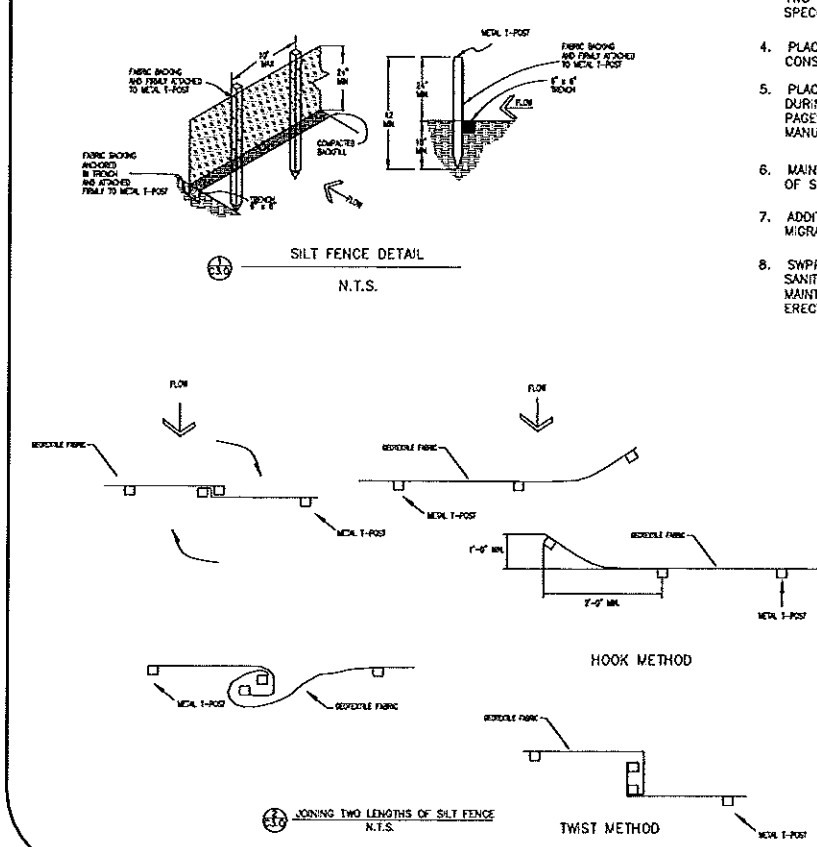
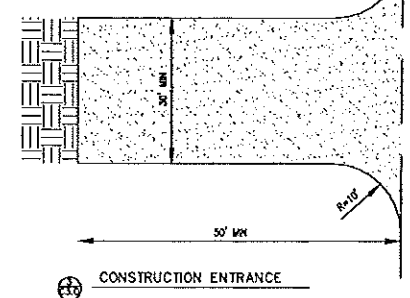
- SIGNIFICANT MATERIALS TO BE PLACED ON PROPERTY INCLUDE FILL/OUT MATERIAL, CONCRETE, METAL OR IRON FOR THE BUILDING
- CURRENT AND PROPOSED LAND USE IS FOR STATE FARM INSURANCE, THE ONLY FEASIBLE THREAT OF STORM WATER POLLUTION WILL ARISE DURING CONSTRUCTION. THE THREAT WILL BE FROM UNCONTROLLED SEDIMENT RUNOFF. SEDIMENT RUNOFF CAN BE CONTROLLED BY FOLLOWING THE GUIDELINES AS SHOWN ON THE PRECEDING AND CURRENT "EROSION CONTROL PLAN" SHEETS.
- CUT/FILL MATERIAL MAY BE STOCKPILED ON SITE DURING CONSTRUCTION. IF SO, A SILT FENCE MUST BE IN PLACE AROUND SAID STOCKPILE. CONCRETE WILL BE DELIVERED ONSITE WITH CONCRETE TRUCKS. SPALLS FROM FORMING WILL BE STOCKPILED AND REMOVED FROM SITE TO AN APPROVED RUBBISH OR LANDFILL SITE. THE SAME APPLIES FOR ALL METAL/IRON EXCESS FROM BUILDING CONSTRUCTION.
- ALL LITTER IS TO BE DISPOSED OF IN A CERTIFIED LAND FILL. LITTER IS TO BE TEMPORARILY STORE ON SITE UNTIL IT CAN BE HAULLED TO A CERTIFIED LAND FILL OR REMOVED BY PROFESSIONAL WASTE MANAGEMENT SERVICES.
- ALL SIGNIFICANT MATERIALS REMAINING AFTER CONSTRUCTION WILL BE REMOVED FROM SITE AND DISPOSED OF IN AN APPROVED RUBBISH OR LANDFILL SITE.
- PESTICIDES OR HERBICIDES ARE NOT NECESSARY AND ARE, THEREFORE, NOT ALLOWED ON SITE. IF ANY ARE FOUND ON SITE, THEY WILL BE DISPOSED OF AS PER DEQ OR EPA REGULATIONS.
- NOTE THE LOCATION OF ALL SILT FENCES AND EROSION CONTROL MEASURES AS INDICATED ON PRECEDING "EROSION CONTROL PLAN" SHEET. THE DETAILS OF SAID FENCES AND CONTROL MEASURES ARE SHOWN ON CURRENT SHEET.

NOTES:

1. SILT FENCE TO BE INSTALLED ALONG THE CONTOUR, NEVER UP OR DOWN ON SLOPE.
2. ENDS OF SILT FENCE SHOULD BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
3. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: TWIST METHOD OR HOOK METHOD AS SPECIFIED ON DETAIL.
4. PLACE HAY BALES AROUND CURB INLETS DURING CONSTRUCTION.
5. PLACE CULVERT EROSION BAILES AROUND OPEN CULVERTS DURING CONSTRUCTION. SHALL COMPLY WITH SECTION 4, PAGES 4-182 THRU 4-189 OF THE PLANNING & DESIGN MANUAL FOR THE CONTROL OF EROSION, SEDIMENT & STORMWATER.
6. MAINTAIN MIN. 10' VEGETATIVE BUFFER AROUND PERIMETER OF SITE WHERE PRACTICABLE.
7. ADDITIONAL SILT FENCE TO BE INSTALLED AS NEEDED TO PREVENT MIGRATION OF SEDIMENT FROM CONSTRUCTION AREAS.
8. SWPPP HOUSEKEEPING AREA TO BE MIN. 20'X40', LOCATE SANITARY FACILITIES, TRASH RECEPTACLES, EQUIPMENT MAINTANCE, RE-FUELING, AND CONCRETE WASH-OUT IN THIS AREA. ERECT SIGN AT AREA INDICATING, "SWPPP HOUSEKEEPING AREA".

NOTES:

1. STONE SIZE - USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. THICKNESS - NOT LESS THAN 6".
3. FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA BEFORE PLACING STONE.



Date:	
By:	
Revisions:	
No.	

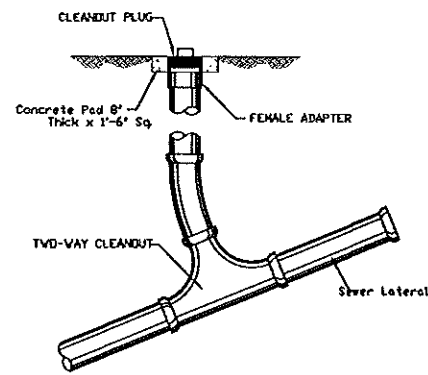
FLOYD STRAUBS ENGINEERING, INC.  
 130 E. Northside Drive, Clinton, MS 39056  
 Phone: 662-343-3875  
 www.floydstraubs.com

Project No: # 3680  
 Date: 02/15/2018  
 Scale: 1" = 20'  
 Designed By: CLR  
 Reviewed By: CLR

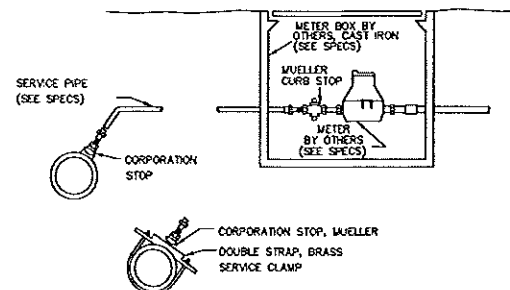
EROSION CONTROL PLAN  
 CRJT BUILDING

SHEET  
 C3.0

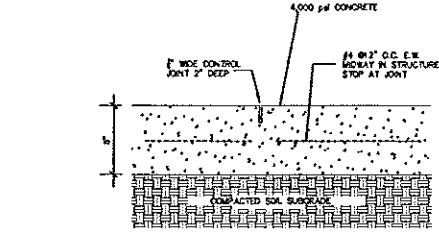




6 SANITARY SEWER CLEAN-OUT (2-WAY) DETAIL  
NTS

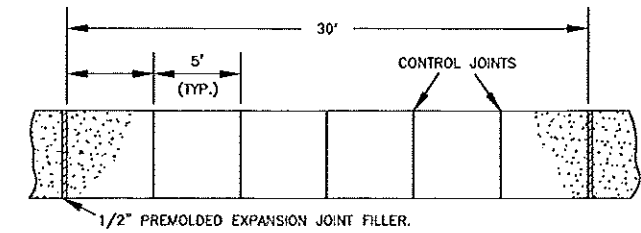


7 TYPICAL SERVICE ASSEMBLY  
NOTE: SERVICES SHALL BE TYPE K COPPER WITH CORPORATION AND CURB STOPS THAT COMPLY WITH THE CITY OF JACKSON STANDARD SPECIFICATIONS. MUST BE APPROVED BY CITY OF JACKSON PRIOR TO INSTALLATION.

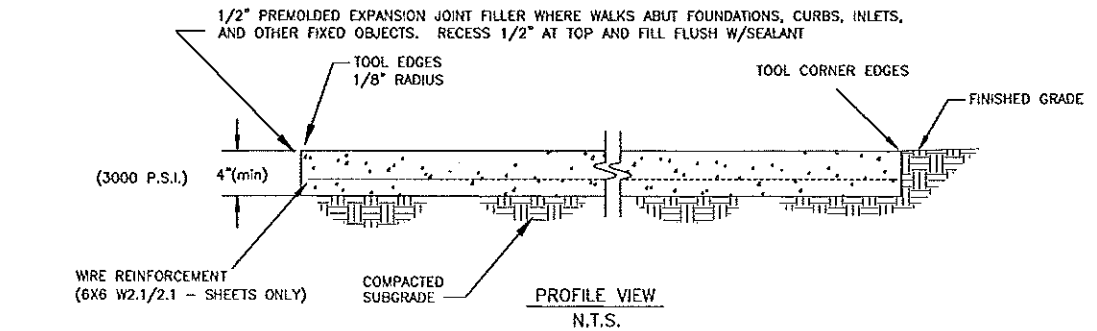


1 CONCRETE PAVEMENT DETAIL  
NTS.

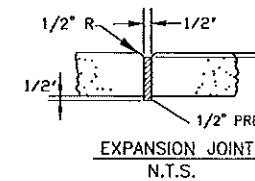
- SLAB PROFILE:
- TOOLED CONSTRUCTION JOINTS SHOULD BE PROVIDED AT INTERVALS THAT WILL PROVIDE A SLAB SITE THAT DOES NOT EXCEED 20'X20'.
  - EXPANSION JOINTS SHOULD ONLY BE PLACED WHERE THE PAD DIRECTLY ADJONS A BUILDING OR OTHER FIXED STRUCTURE.
  - PROOF ROLL SUBGRADE PRIOR TO CONCRETE PLACEMENT AND CUT REINFORCING AT ALL JOINT LOCATIONS.



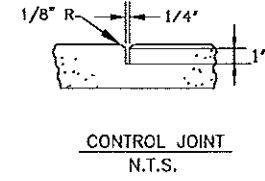
PLAN VIEW  
NTS.



PROFILE VIEW  
NTS.



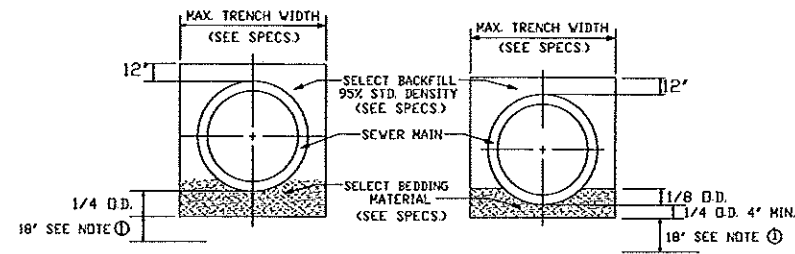
EXPANSION JOINT  
NTS.



CONTROL JOINT  
NTS.

- NOTES:
- CONCRETE SHALL BE 3,000 PSI MINIMUM
  - 6X6 W2.1/W2.1 WIRE REINFORCEMENT REQUIRED (SHEETS ONLY)
  - PROVIDE BROOM FINISH TO ALL EXPOSED SURFACES
  - HEAVY BROOM FINISH PERPENDICULAR TO THE DIRECTION OF TRAFFIC.

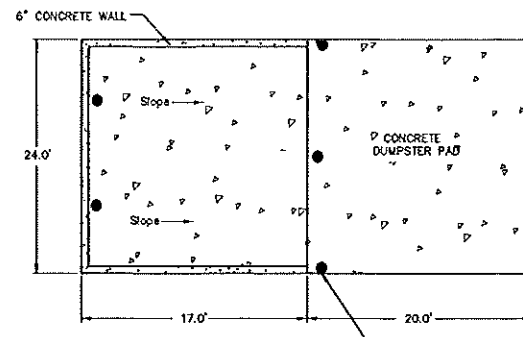
3 CONCRETE SIDEWALK SECTION DETAILS  
NTS.



TYPICAL SECTION CLASS 'B' BEDDING

TYPICAL SECTION CLASS 'C' BEDDING

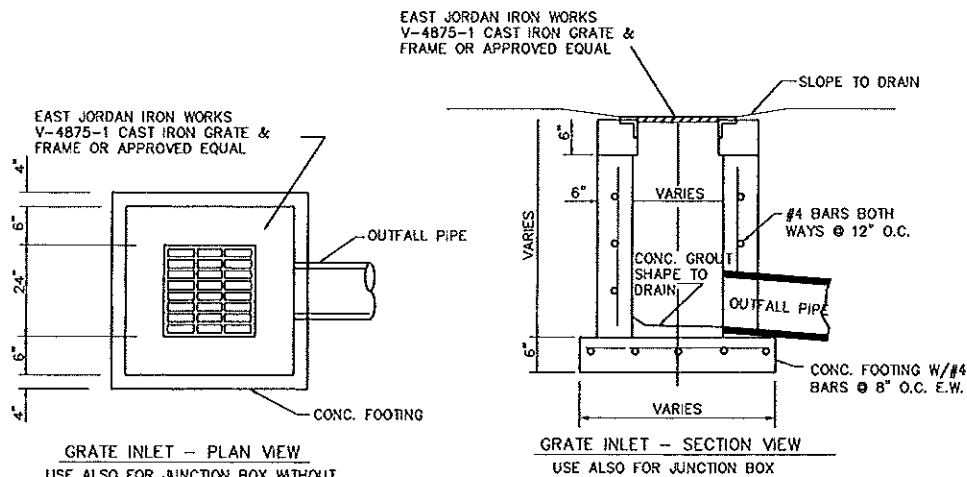
- DEWATERING REQ'D TO THIS LEVEL (MIN). CONTRACTOR WILL NOT BE ALLOWED TO WORK WHEN WATER LEVEL IS NOT MAINTAINED BY DEWATERING SYSTEM TO THIS ELEVATION OR LOWER.
- WHEN TRENCHING ACROSS EXISTING ASPHALT OR CONCRETE SURFACES, NEW ASPHALT SHOULD BE PLACED BACK AT SAME DEPTH OF EXISTING ASPHALT OR CONCRETE THICKNESS.



PLAN VIEW

- NOTES:
- 6 FOOT TALL CYCLOPE FENCE (SCREENED) TO BE CONSTRUCTED ON TOP OF THE CONCRETE WALL.
  - 4" DIA. CONCRETE FILLED PIPE BOLLARDS REQUIRED AS SHOWN ON THE DETAIL. TWO WITHIN ENCLOSURE AT BACK WALL AND THREE IN FRONT OF THE ENCLOSURE TO PREVENT DOORS FROM SWINGING BEYOND 90°
  - DUMPSTER PAD GATES TO BE INSTALLED ON 6" DIA. POST WITH METAL FRAME AND WOOD SLATES OVER GATE FRAME.

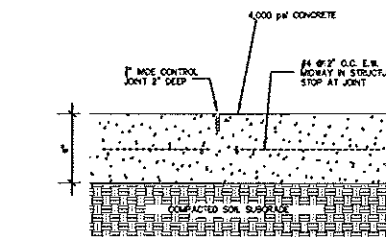
10 DUMPSTER DETAIL  
NTS.



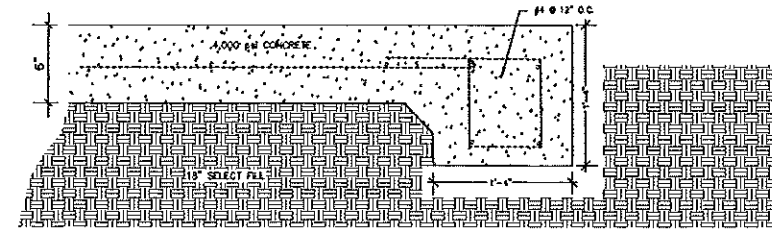
GRATE INLET - PLAN VIEW

GRATE INLET - SECTION VIEW

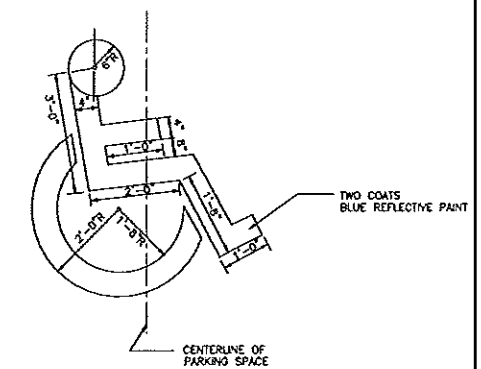
9 GRATE INLET DETAIL  
NTS.



- SLAB PROFILE:
- TOOLED CONSTRUCTION JOINTS SHOULD BE PROVIDED AT INTERVALS THAT WILL PROVIDE A SLAB SITE THAT DOES NOT EXCEED 20'X20'.
  - EXPANSION JOINTS SHOULD ONLY BE PLACED WHERE THE PAD DIRECTLY ADJONS A BUILDING OR OTHER FIXED STRUCTURE.
  - PROOF ROLL SUBGRADE PRIOR TO CONCRETE PLACEMENT AND CUT REINFORCING AT ALL JOINT LOCATIONS.
  - SEE GEOTECHNICAL REPORT BY LADNER DATED JANUARY 2016 FOR ALL PAVEMENT RECOMMENDATIONS.



8 HEAVY DUTY CONCRETE (DUMPSTER AREA)  
NTS.



4 ACCESSIBILITY PARKING SYMBOL  
NTS.

- NOTES:
- ACCESSIBILITY SYMBOLS SHALL BE PAINTED ON PAVEMENT AT EACH ACCESSIBLE PARKING SPACE.
  - ALL PAVEMENT MARKING INSTALLATIONS SHALL CONFORM TO THE 1988 MUTCD AND ALL SUBSEQUENT REVISIONS.
  - ALL ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH A ACCESSIBILITY PARKING SPACE SIGN.
  - BLUE PAINT TO BE PAINTED FOR ALL ACCESSIBLE MARKINGS.

Date:	
By:	
Revisions:	
No.	

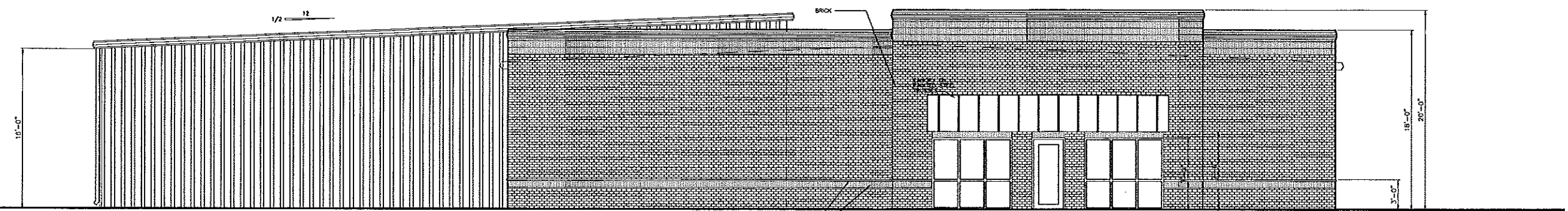
FLOYD S BARRS ENGINEERING, INC.  
130 E. Northside Drive, Clinton, MS 39056  
Phone: 662.343.3015  
www.fsbarrs.com

Project No.: # 3580  
Date: 02/15/2018  
Scale: N.T.S.  
Designed By: CLB  
Reviewed By: CLB

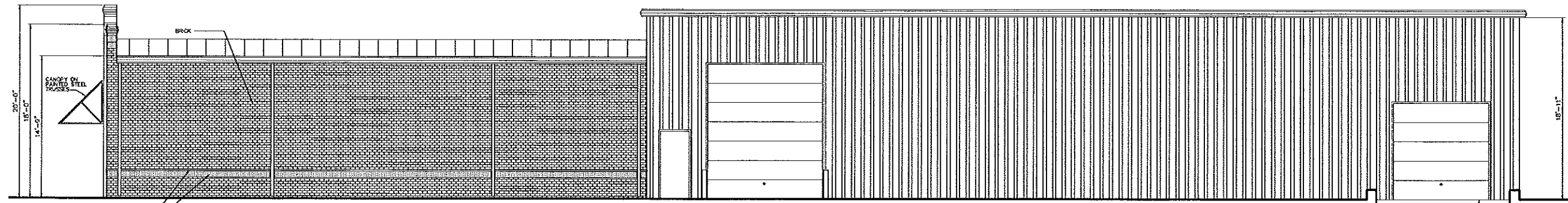
SITE DETAILS  
CRJT BUILDING

SHEET  
C5.0

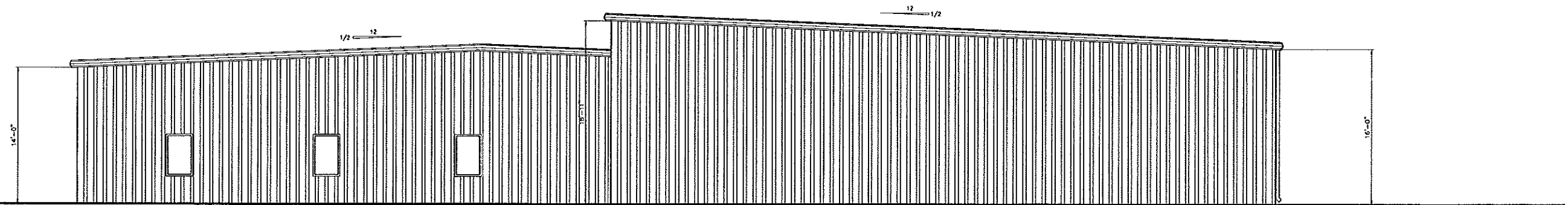
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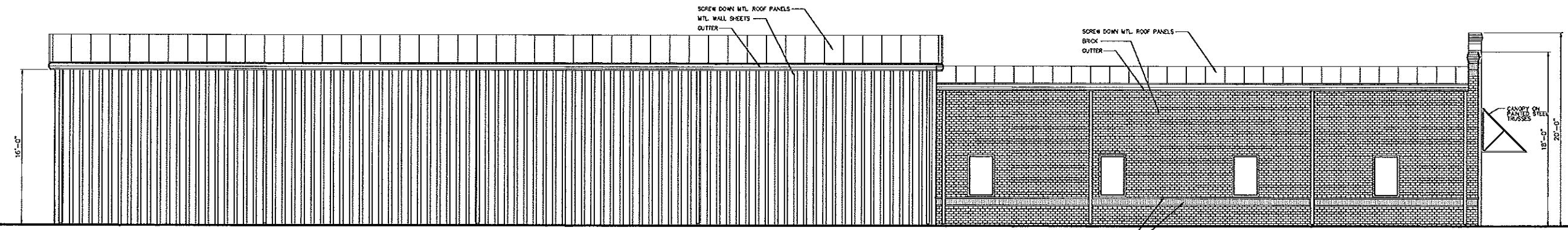
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 A1.0 FRONT ELEVATION  
 SCALE: 3/16"=1'-0"



1  
 A1.0 SIDE ELEVATION  
 SCALE: 3/16"=1'-0"



1  
 A1.0 REAR ELEVATION  
 SCALE: 3/16"=1'-0"



1  
 A1.0 SIDE ELEVATION  
 SCALE: 3/16"=1'-0"

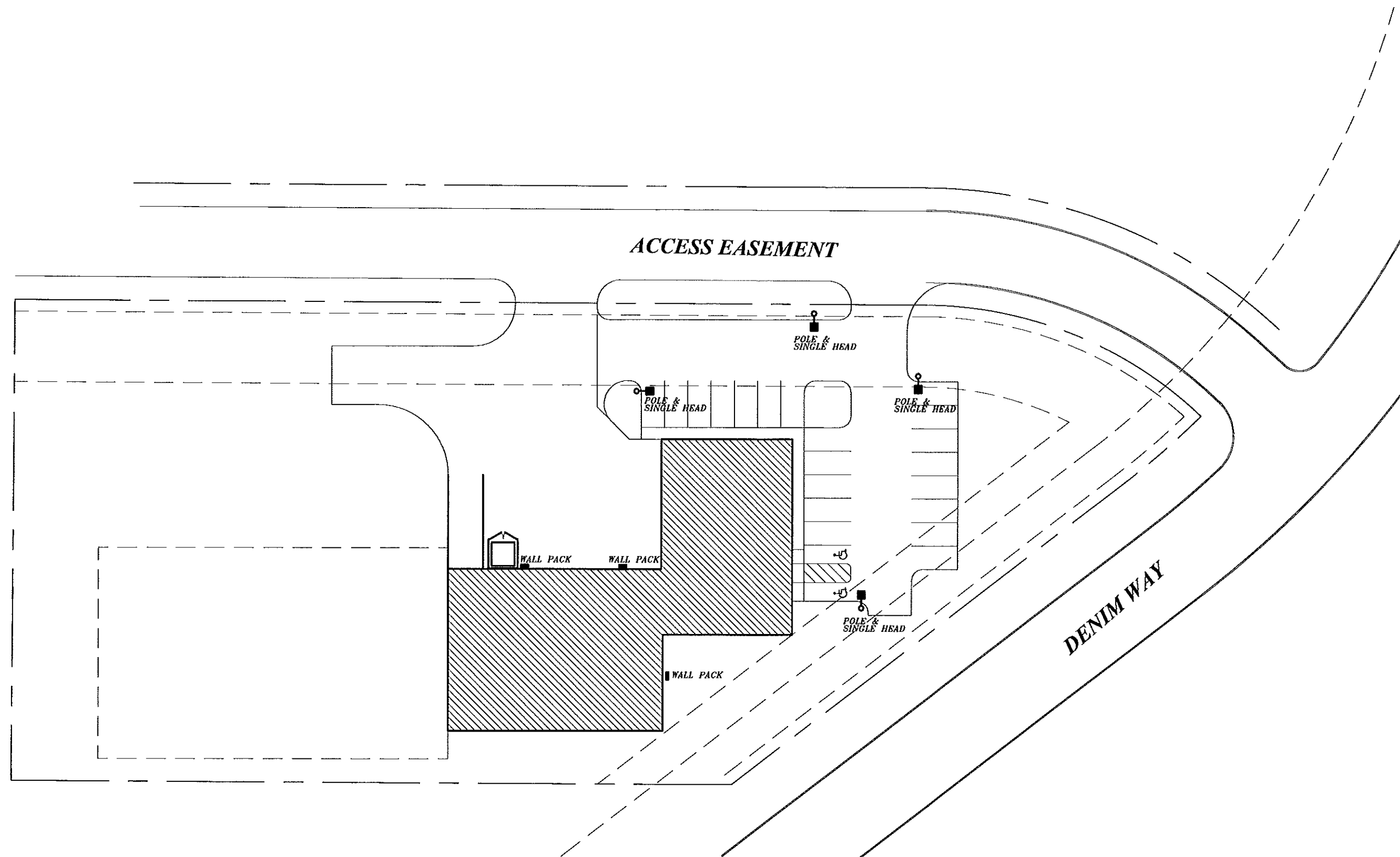
REVISIONS	BY

**CRJT Building**  
 Gluckstadt, Ms

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Drawn
CHECKED
DATE
SCALE
JOB NO.
SHEET
<b>A3.0</b>
of SHEETS

0/10/2001 2:41 PM  
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MUNIR & ASSOCIATES



1 SITE LIGHTING  
SCALE: 1"=20'-0"

REVISIONS	BY

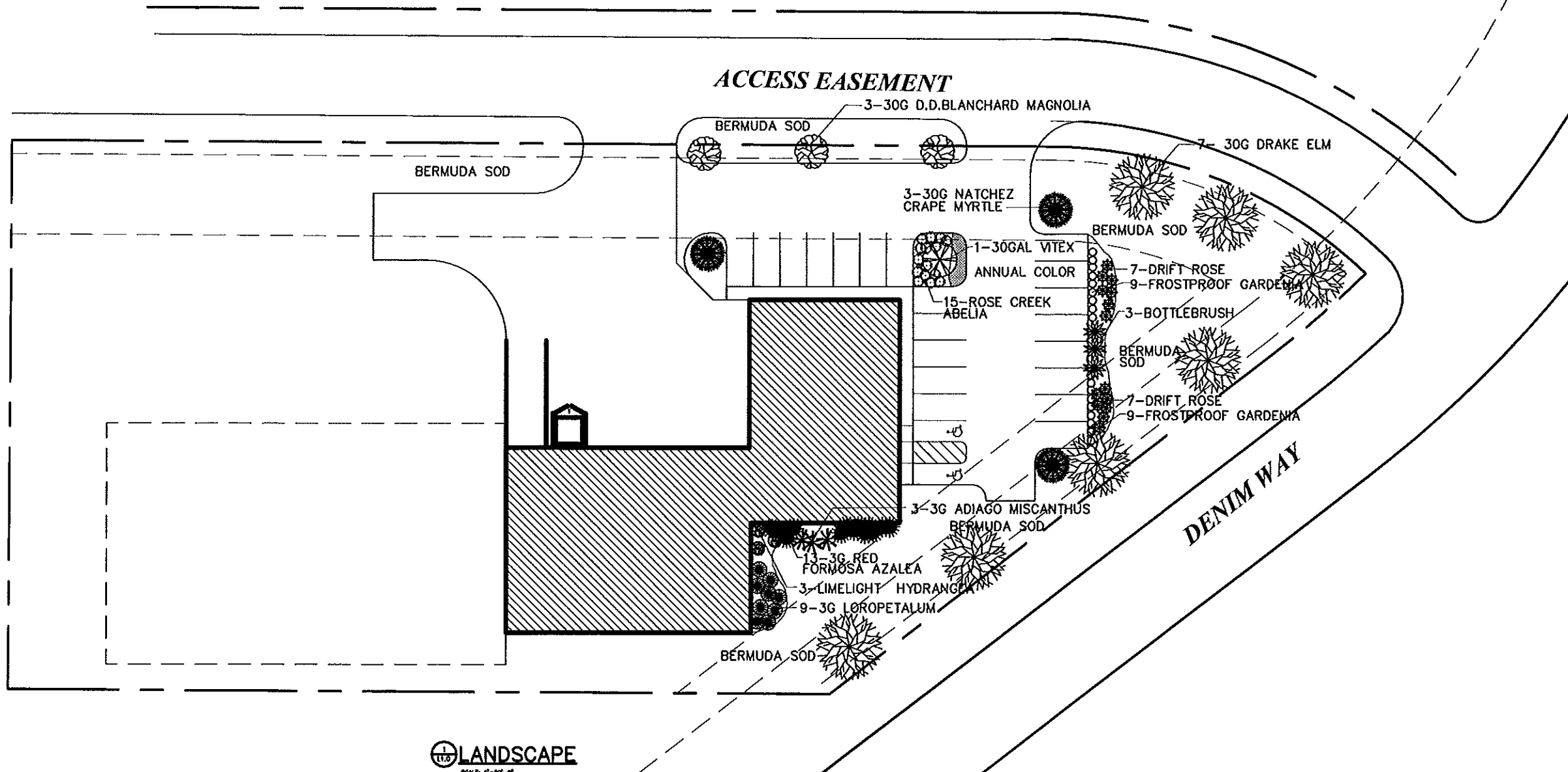


**CRJT Building**  
Gluckstadt, Ms

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DRAWN
CHECKED
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SHEET
<b>L1.0</b>
OF SHEETS

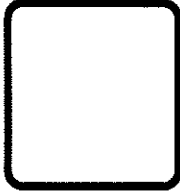




**LANDSCAPE**  
SCALE: 1"=30'-0"

BERMUDA SOD

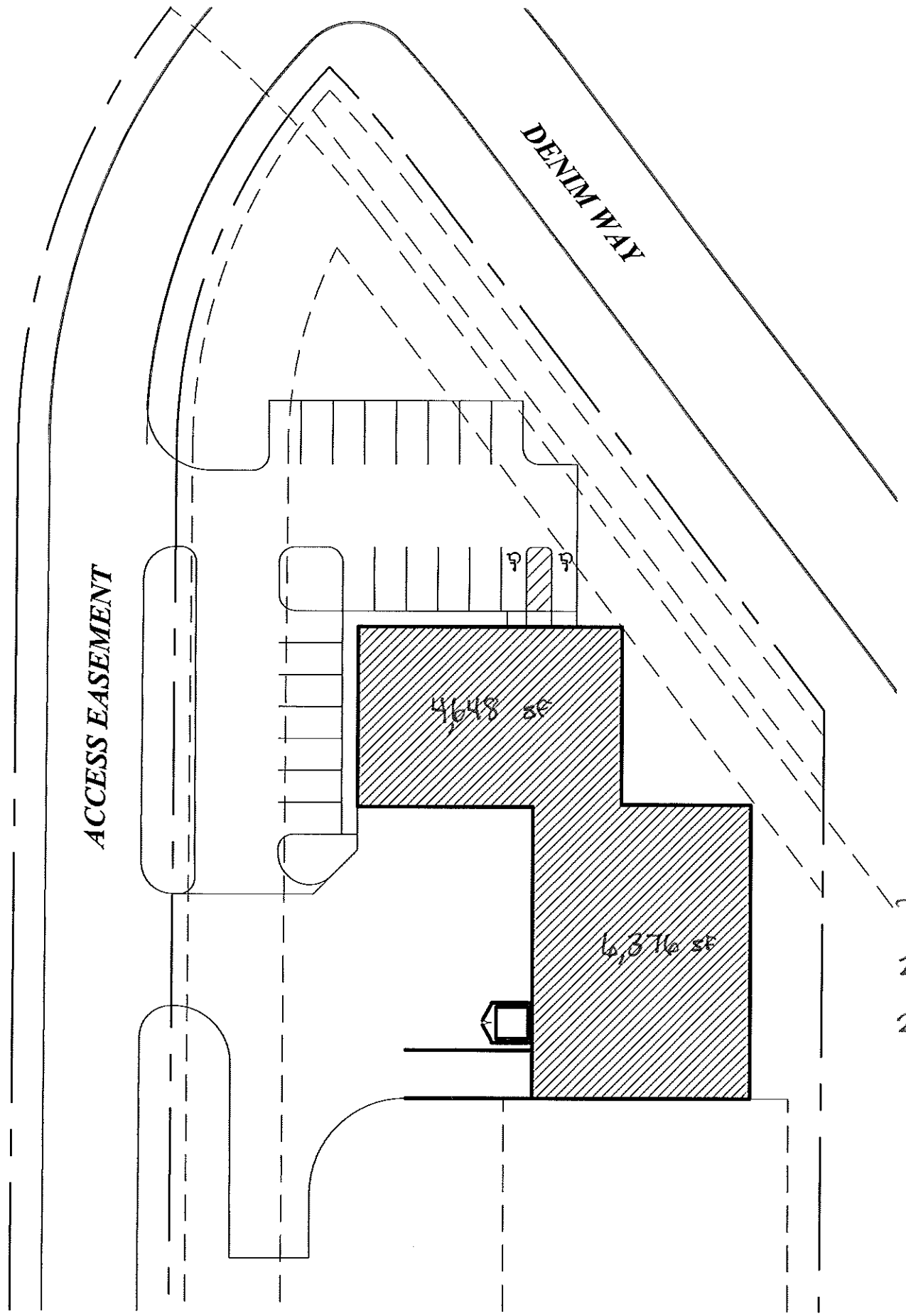
REVISIONS	BY



**CRJT Building**  
Gluckstadt, MS

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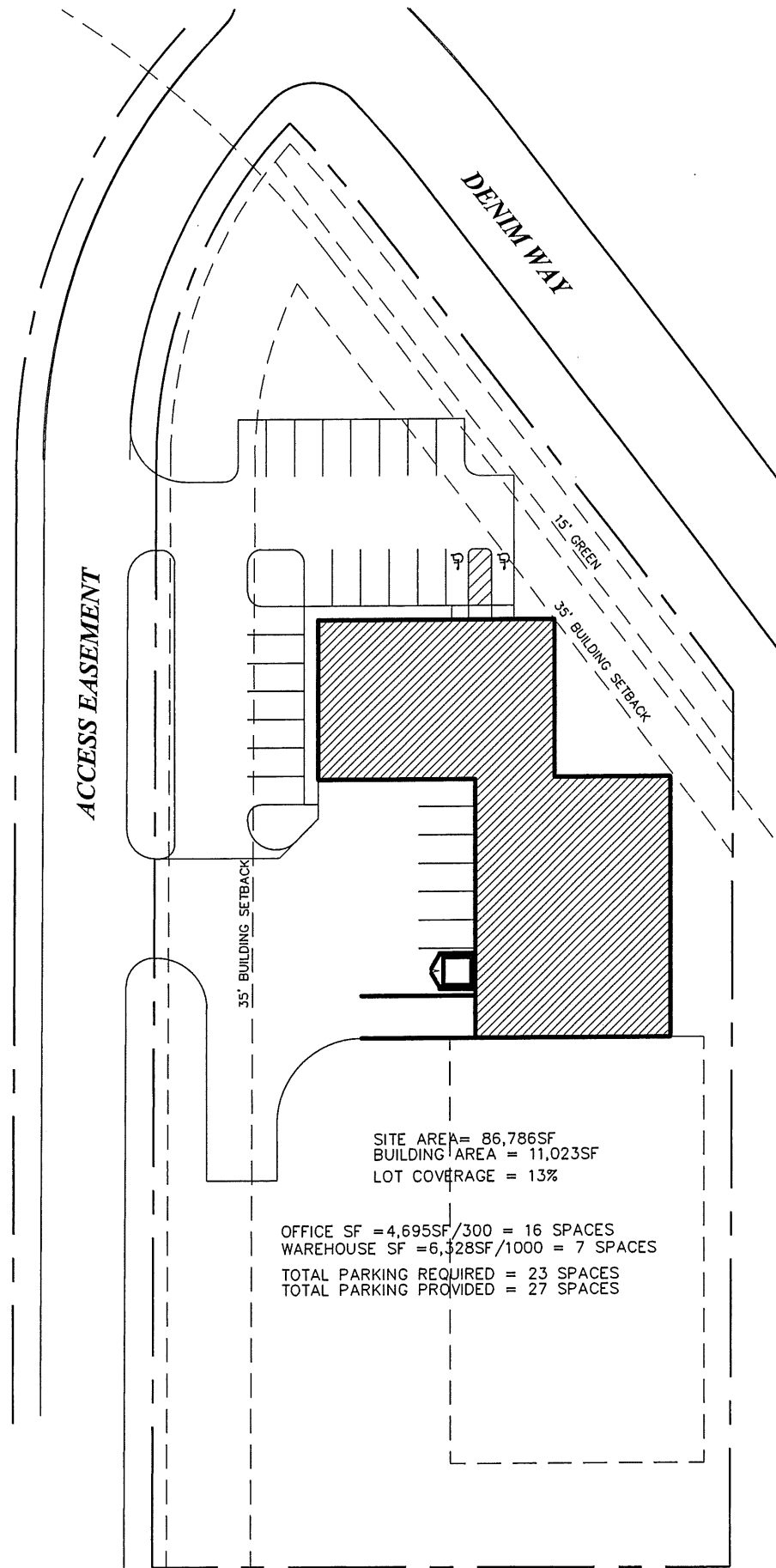
ACCESS EASEMENT

DENIM WAY

4,648 SF

6,376 SF

Parking  
27 provided  
23 required



SITE AREA = 86,786SF  
BUILDING AREA = 11,023SF  
LOT COVERAGE = 13%

OFFICE SF = 4,695SF / 300 = 16 SPACES  
WAREHOUSE SF = 6,328SF / 1000 = 7 SPACES  
TOTAL PARKING REQUIRED = 23 SPACES  
TOTAL PARKING PROVIDED = 27 SPACES