

699 Monroe Street
Jackson, MS
(601) 353-5803

Jackson

Blueprint & Supply, Inc.

699 Monroe Street
Jackson, MS 39202
(601) 353-5803

Jackson
Blueprint & Supply, Inc.

A PROPOSED BUILDING FOR: DR. PARVESH GOEL

GLUCKSTADT, MISSISSIPPI
MADISON COUNTY

DECEMBER 3, 2013

SHANE ORMON CONSTRUCTION MANAGEMENT & DESIGN

CLINTON, MISSISSIPPI
PHONE: 601-924-1300




COFFEY
ARCHITECT

109 Hart Circle Madison, Mississippi 39110
Phone: 601.226.3442
Russcoffey2@gmail.com

ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE	F.A.C.	FIRE ALARM CABINET	PF	PREFINISHED
ARCH.	ARCHITECTURE	FD	FLOOR DRAIN	PLAM	PLASTIC LAMINATE
ADDTL.	ADJUSTABLE	FAR	FIRE ALARM REMOTE	PLYWD	PLYWOOD
ADJ.	ACCESS FLOORING	F.E.C.	FIRE EXTINGUISHER CABINET	PNL	PANEL
A.F.D.	AUTOMATIC FIRE DAMPER	F.F.E.	FINISH FLOOR ELEVATION	PP	POWER POLE
A.F.F.	ABOVE FINISH FLOOR	F.H.	FLOOR	PR	PAIR
ALUM.	ALUMINUM	FLR.	FLOOR	PROJ	PROJECTION
ALT.	ALTERNATE	FR	FRAME	PSP	POUNDS/SQUARE FOOT
BT	BETWEEN	FRS	FRAME	PSI	POUNDS/SQUARE INCH
BLCG.	BLOCKING	FT.	FOOT/FEET	PVC	POLYVINYLCHLORIDE
BLK.G	BLOCKING	GA.	GAUGE	QUART.	QUARTER
BLT.	BUILT	GA.V.	GALVANIZED	T.B.	TILE BASE
BO.	BOTTOM	G.C.	GYPNUM BOARD	QTY	QUANTITY
BO.	BOTTOM	C.C.	GENERAL CONTRACTOR	RAD	RADIUS
BOT.	BOTTOM	CS	CLAS	REF. LUM. AIR	REFERENCE
B.R.	BAKER ROD	C.P.M.	GALLONS PER MINUTE	R.B.B.	RUBBER BASE
B.CAB.	CABINET	H.B.	HOSE BIBB	REF.	REFERENCE
CAP.	CAPACITY	HC	HANDICAP	REINFORC.	REINFORCED
C.B.	CHAIR BOARD	H.M.	HOLLOW METAL	REQ.	REQUIRED
C.C.	CENTER TO CENTER	HND.	HAND	RES.	RESILIENT
CCTV	CLOSED CIRCUIT TELEVISION	HP	HIGH POINT	RET.	RETURN
CFH	CUBIC FEET/HOUR	HORIZ.	HORIZONTAL	RPM	REVOLUTIONS PER MINUTE
CFM	CUBIC FEET/MINUTE	HR	HOOR	RM	ROOM
C.I.M.	CAST IRON	HT	HEIGHT	R.R.T.U.	ROOF TOP UNIT
C.J.	CONTROL JOINT	H.W.	HOT WATER	S.A.	SANITARY
C.L.	CEILING	HVAC	HEATING VENTILATION AIR CONDITIONING	S.A.	SANITARY
CLG.	CLEAR	IC	INSUL.	S.C.WD.	SOLID CORE WOOD
CLR.	CONCRETE MASONRY UNIT	INT.	INTERIOR	SD	SQUARE FEET
CHU	CONTRACTOR	INT'L	INTERNATIONAL	SHT.	SHEET
CONTR.	CONTRACTOR	INV.	INVERT	SIMILAR	SIMILAR
COOL	COMPRESSION/COMPRESSED	JT.	JOINT	SLOPE	SLOPE
COMP	CONCRETE	L.AV.	LAVATORY	SP.	SPACING
CONC.	CONCRETE	L.F.	LINEAR FEET	SPEC.	SPECIFIED/SPECIFICATIONS
CONC.	CONCRETE	L.G.	LEG	SQ.	SQUARE
CONSTR.	CONSTRUCTION	L.P.	LIGHT POLE	STD.	STANDARD
CONT.	CONTINUOUS	MA	MIXED AIR	ST.	STEEL
CPLNG.	COUPLING	MAS.	MASONRY OPENING	STRUCT.	STRUCTURAL
CPT.	CERAMIC TILE	MAX.	MAXIMUM	SUSP.	SUSPENDED
CTB.	CERAMIC TILE BASE	MECH.	MECHANICAL	SYN.	SYNTHETIC
CTM.	CENTERS	M.F.	MANUFACTURER	T&B	TOP AND BOTTOM
C.W.	COLD WATER	MIN.	MINIMUM	T.B.M.	TEMPORARY BENCH MARK
D/O/DIA.	DIAMETER	MISC.	MISCELLANEOUS	THRESH.	THRESHOLD
D.B.	DOUBLE	M.O.	MASONRY OPENING	T.L.T.	TOILET
DBL.	DOUBLE	MOD.	MODIFY	T.O.P.	TOP OF
DEFT.	DEFLECTION	M.R.V.	MOISTURE RELEASE VENT	T.O.B.	TOP OF BEAM
DEPT.	DEPARTMENT	MTD.	MOUNTED	T.O.S.	TOP OF STEEL
DETA.	DETAIL	MTL.	METAL	T.P.	TREATED
DESP.	DISPENSER	N/A	NOT APPLICABLE	TRD.	TYPICAL
DK.	DARK	NF	NATURAL FINISH	U.C.	UNDER COUNTER
DN.	DOWN	N.I.C.	NOT IN CONTRACT	U.L.	UNDERWRITER'S LABORATORY
DN.	DOWN	NO.	NUMBER	U.N.O.	UNLESS OTHERWISE NOTED
DWG.	DRAWING(S)	NOM.	NOMINAL	VAR.	VARIABLE
E.A.	EACH	NR	NARROW RIB	VD	VOLUME DAMPER
E.F.	ELECTRIC DRINKING FOUNTAIN	NS.	NOT SHOWN	VCT	VERTICAL
EFC.	ELECTRIC FAN	NTS.	NOT TO SCALE	VTR	VENT THROUGH ROOF
EFC.	ELECTRIC FAN	DA	OUTSIDE AIR DAMPER	VWC	VINYL WALL COVERING
ELECT.	ELECTRICAL	O.B.V.D.	OPPOSED BLADE VOLUME DAMPER	W.	WIDE/WIDTH
ELEV.	ELEVATION	O.C.	ON CENTER	W/W	WITH
ELEV.	ELEVATION	O.C.E.W.	ON CENTER EACH WAY	W/B	WET BULB
EMBED.	EMBEDDED	OH	OPPOSITE HAND/OVERHEAD	W.C	WALL CLEAN OUT
ENGR.	ENGINEER	OP'NG	OPENING	WD	WOOD
ENT.	ENTRY	OPP.	OPPOSITE	W.G.	WATER GAUGE
E.O.P.	EXISTING OVERHEAD PRIMARY	OZ.	OUNCE	WGVP	WIRE GLASS VISION PANEL
E.O.P.	EQUAL	PART'N	PARTITION	W.H.	WATER HEATER
EPT.	EQUIPMENT			WP	WATER PROOF
ESP.	EXPOSED STRUCTURAL			WV	WATER VALVE
ESP.	EXTERNAL STATIC PRESSURE			W.W.F.	WELDED WIRE FABRIC
EXH.	EXHAUST				
EXP.	EXPANSION				
EXT.	EXTERIOR				

SYMBOL LEGEND

	CONCRETE
	BATT INSULATION
	RIGID INSULATION
	GYPNUM BOARD
	STEEL/METAL
	PLYWOOD
	C.M.U. (SECTION)
	E.F.I.S.
	FINISHED WOOD
	WOOD BLOCKING
	ROOM NAME & NUMBER
	DOOR NUMBER
	WINDOW DESIGNATION
	ELEVATION MARK/SECTION
	COLUMN GRID
	PARTITION TYPES

INDEX OF DRAWINGS

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A2.2	BUILDING SECTION
A2.4	BUILDING ELEVATIONS
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P1	PLUMBING PLAN/SCHEDULES/DETAILS
E1	ELECTRICAL SITE PLAN
E2	POWER AND LIGHTING
E3	SCHEDULES/RISER DIAGRAM
E4	LEGEND/SPECIFICATIONS

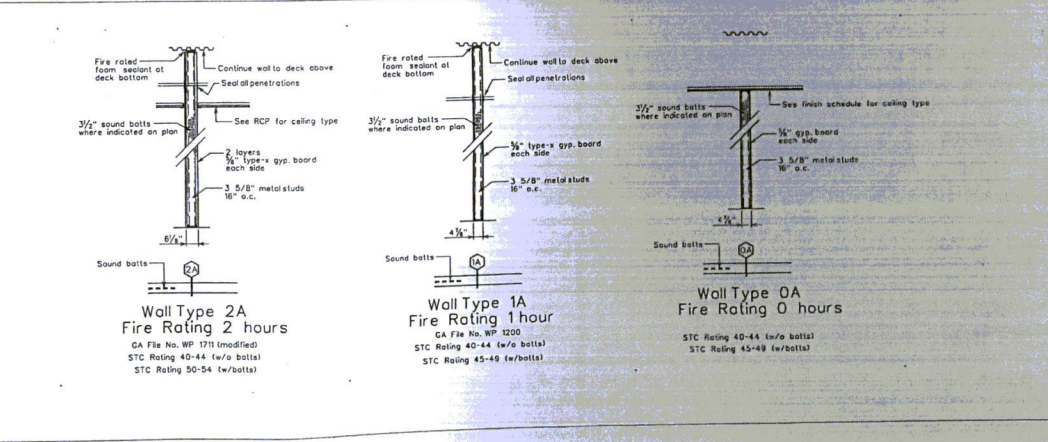
PROJECT TEAM

ARCHITECTURAL	MECHANICAL	ELECTRICAL
COFFEY ARCHITECTS CONTACT: DR. COFFEY, AA 909 HART CIRCLE MADISON, MS 39110 (601) 209-3440 (PHONE) (601) 891-0716 (FAX)	SCOTT WOODS AND ASSOCIATES CONTACT: SCOTT WOODS 112 LONE WOOD DR MADISON, MS 39110 (601) 859-9564 (PHONE) (601) 859-9564 (FAX)	ACCO ELECTRIC, INC. CIVIL ENGINEER ADAMS 2100 WOODS ROAD JACKSON, MS 39202 (601) 922-3415 (PHONE) (601) 922-9705 (FAX)
CIVIL	BENCHMARK ENGINEERING & SURVEYING 101 HIGHPOINT COURT, SUITE B MADISON, MS 39110 (601) 891-8777 (PHONE) (601) 891-0716 (FAX)	

GENERAL ARCHITECTURAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION ON THIS SITE. IF PROBLEMS ARE ENCOUNTERED WHILE ATTEMPTING TO OBTAIN PERMITS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WILL ASSIST AS NECESSARY.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME FAMILIAR WITH THE CONTRACT DOCUMENTS APPLICABLE TO THIS PROJECT PRIOR TO CONSTRUCTION. THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND BOTH DOCUMENTS SHALL BE BINDING.
- THE CONTRACTOR IS TO MAINTAIN A COMPLETE SET OF AS-BUILT DRAWINGS AT THE JOB SITE. AS-BUILTS SHALL BE AVAILABLE FOR FIELD INSPECTIONS BY THE ARCHITECT OR ENGINEER.
- IT IS INTENDED THAT A COMPLETE BUILDING BE PROVIDED WITH ALL NECESSARY EQUIPMENT, APPURTENANCES AND CONTROLS, COMPLETELY CONFORMING WITH ALL REQUIREMENTS. ALL DRAWINGS SHALL BE STRICTLY CONFORMED WITH ANY ITEMS AND LABOR REQUIRED FOR A COMPLETE BUILDING IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS AND THESE CONTRACT DOCUMENTS SHALL BE FURNISHED WITHOUT INCURRING ANY ADDITIONAL COST TO THE CONTRACT. CAREFULLY REVIEW ALL CONTRACT DOCUMENTS AND THE DESIGN OF OTHER TRADES BEFORE PREPARING SHOP DRAWINGS.
- REVIEWED CEILING PLANS FOR LOCATION OF ALL CEILING MOUNTED AIR DISTRIBUTION DEVICES; COORDINATE LOCATION OF GRILLES, LIGHT FIXTURES, FOR HIS RELEVANT TRADES WITH ARCHITECTURAL, SHOW ON THE REFLECTED CEILING PLAN, PREPARE A DRAWING AND PROVIDE TO THE ARCHITECT AND/OR APPROVAL.
- COORDINATE INTERIOR AND FINISH WITH STRUCTURAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL. MAKE OFFSETS AND TRANSITIONS TO COORDINATE WITH OTHER TRADES WITHOUT ADDITIONAL EXPENSE TO THE OWNER.
- COORDINATE ALL INSPECTIONS PRIOR TO CONCEALMENT OF ALL INTERIOR AND EXTERIOR WORK.
- CONTRACTOR SHALL CHECK AND COORDINATE ALL DIMENSIONS.

PARTITION TYPES

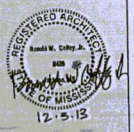


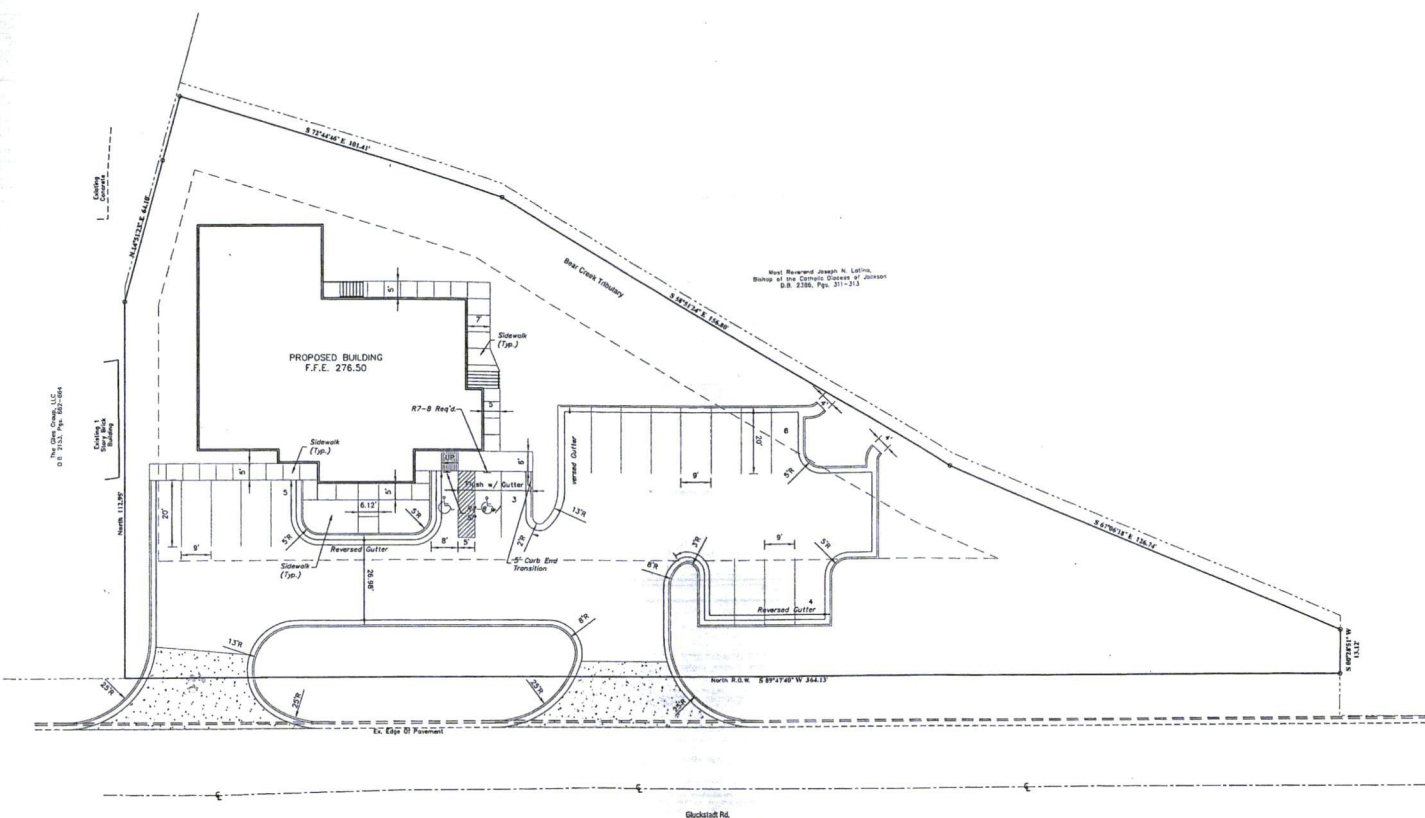
A PROPOSED BUILDING FOR:

DR. PARVESH GOEL

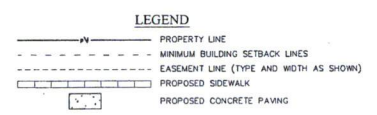
MADISON COUNTY, MISSISSIPPI

DATE: DECEMBER 3, 2013
REVISION:



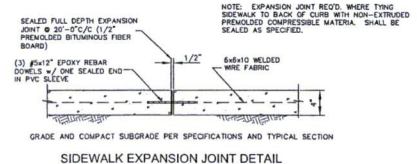


VICINITY MAP

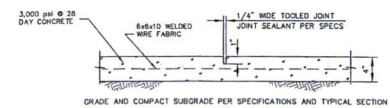


PROJECT SITE INFORMATION:
 CURRENT ZONING - C-1, GENERAL COMMERCIAL DISTRICT
 MINIMUM SETBACK REQUIREMENTS:
 FRONT - 35', SIDE - 10', REAR - 20' (ABUTS RES. DISTRICT)
 TOTAL ACREAGE: 0.83 ac (36,167 ± s.f.)
 ACREAGE BREAKDOWN:
 BUILDING - 0.11 ac (4,977 ± s.f.), 13%
 SIDEWALKS - 0.03 ac (1,224 ± s.f.), 4%
 NEW DRIVES/PARKING - 0.29 ac (12,643 ± s.f.), 35%
 GREEN AREA - 0.40 ac (17,424 ± s.f.), 48%
 PARKING COUNT - 20 INCLUDING 2 HANDICAPPED

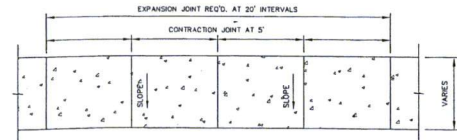
- NOTE:
- RADIAL DIMENSIONS ARE MEASURED FROM THE BACK OF CURB.
 - SEE ARCHITECTURAL PLANS FOR MORE DETAILS ON THE BUILDINGS AND DUMPSTER ENCLOSURE.
 - ALL PAVING NOT SHOWN AS CONCRETE WILL BE ASPHALT. SEE TYPICAL SECTIONS FOR MORE DETAILS ON PAVING REQUIREMENTS.
 - THIS PARCEL IS LOCATED IN FLOOD ZONE AS ACCORDING TO FLOOD INSURANCE RATE MAP NO. 28089C0415F, COMMUNITY PANEL NO. 280228 0415 F, EFFECTIVE DATE: MARCH 17, 2010.
 - IT IS THE OWNER'S RESPONSIBILITY TO OBTAIN PERMISSION TO PERFORM WORK ON ADJACENT PROPERTY FROM THE PROPERTY OWNER SHOULD IT BE NECESSARY TO COMPLETELY INSTALL IMPROVEMENTS.
 - PAVEMENT NOT SHOWN AS HEAVY DUTY OR CONCRETE WILL BE LIGHT DUTY ASPHALT PAVING.



SIDEWALK EXPANSION JOINT DETAIL

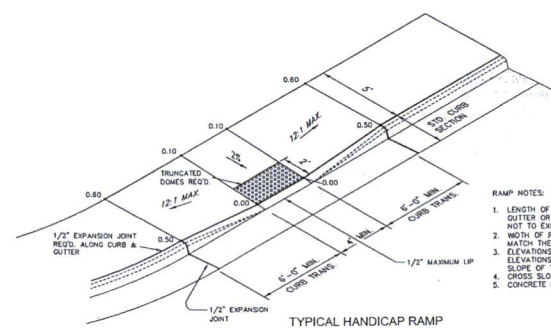


SIDEWALK CONTRACTION JOINT DETAIL



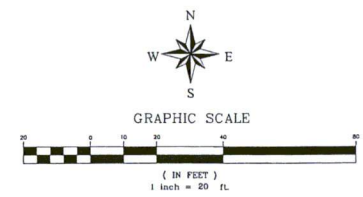
- NOTES:
- SIDEWALK TO BE SLOPED TO BACK OF CURB AT 2% UNLESS NOTED OTHERWISE
 - SIDEWALK SHALL BE BROOM FINISHED PERPENDICULAR TO ROADWAY CENTERLINE
 - ALL EXPANSION JOINTS SHALL BE SEALED WITH ELASTOMERIC SEALER WITHIN 1/4" OF THE FINISHED SURFACE PER ADA REQUIREMENTS.
 - EXPANSION JOINT WITH SEALER REQUIRED ANYWHERE SIDEWALK ABUTS ANOTHER CONCRETE OR SOLID SURFACE (I.E. INLET TOP, CURB, ASPHALT, SIGNAL POLE, ETC.)

SIDEWALK JOINT LAYOUT DETAIL



TYPICAL HANDICAP RAMP
N.T.S.

- RAMP NOTES:
- LENGTH OF RAMPS WILL VARY DEPENDING ON THE CURB AND GUTTER OR THE SURROUNDING GRADES HOWEVER SLOPES SHALL NOT TO EXCEED 12:1.
 - WIDTH OF RAMPS SHALL BE 4' MINIMUM BUT IN GENERAL SHOULD MATCH THE WIDTH OF THE STRIPED HANDICAPPED WALKWAY.
 - ELEVATIONS SHOWN ARE ASSUMED UNLESS OTHERWISE NOTED. ELEVATIONS WILL VARY DEPENDING ON LENGTH OF RAMP AND THE SLOPE OF THE ADJACENT ROADWAY.
 - CROSS SLOPES OF SIDEWALK TO BE MIN. 2% TO PARKING LOT.
 - CONCRETE FOR RAMPS SHALL BE AS SPECIFIED FOR SIDEWALK.



BENCHMARK
 Engineering & Surveying, LLC
 101 Highlands Court, Suite B, Brandon, Mississippi, 39042
 Office: 801-891-1077
 E-mail: info@benchmarkms.com

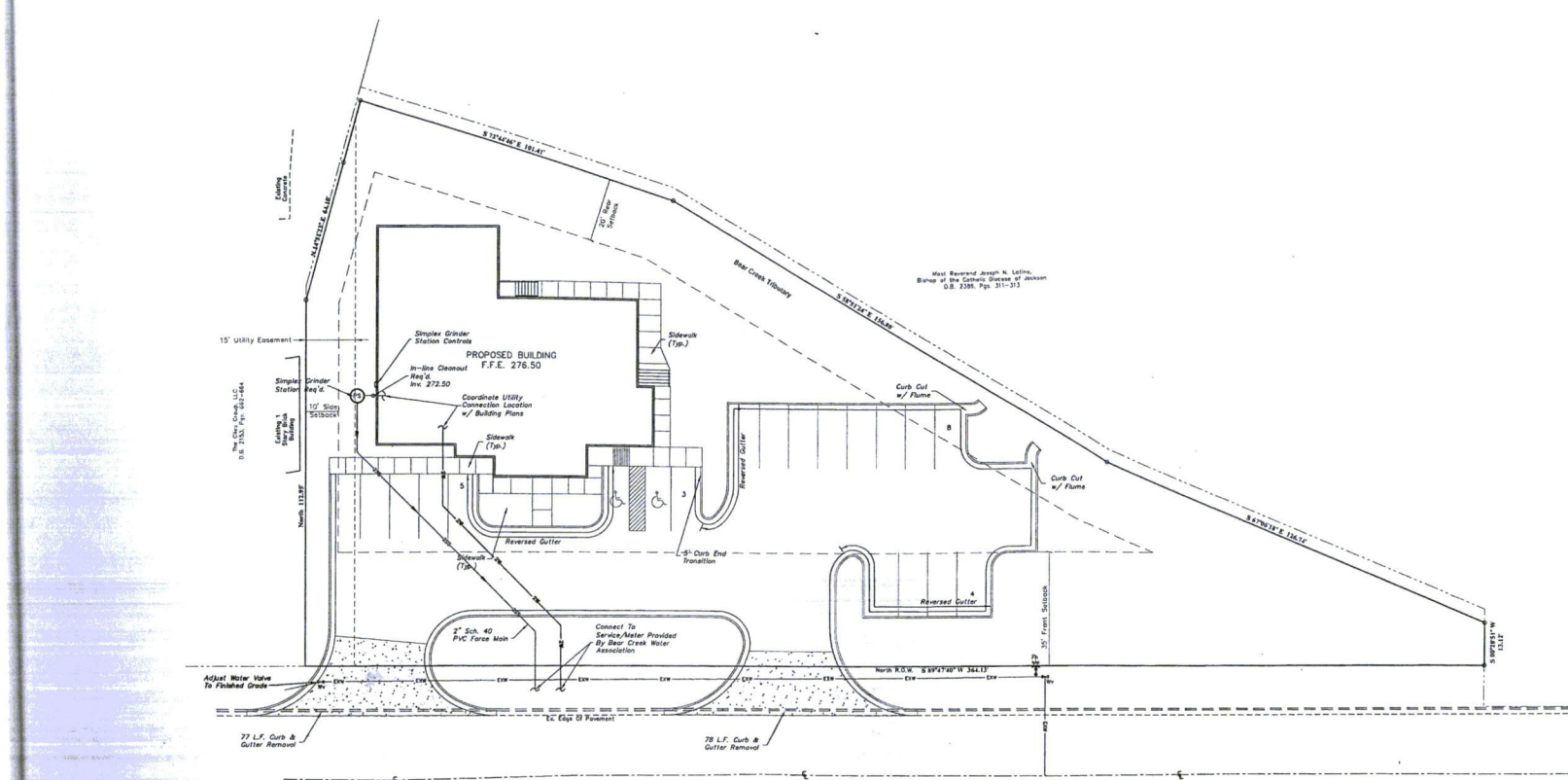
DATE: 12/16/13
 CHECKED: GAB
 REF. C.A.L.
 DATE: 12/16/13
 DRAWN: CBA
 SCALE: 1"=20'
 SHEET NO.: 1 OF 1
 PROJECT: PARVESH & GOEL SITE
 CITY LIMITS OF GLUCKSTADT, MS 39110
 SHEET CONTENTS: SITE PLAN
 PROJECT NUMBER: B-3752

REVISIONS:

DATE:	12/19/13	DRAWN:	CSA
CHECKED:	CSB	SCALE:	1"=20'
REF. CAL:		REQ. SURFACE:	
REQ. SURFACE:		REQ. SURFACE:	

PROJECT LOCATION:
GLUCKSTADT ROAD
CITY LIMITS OF GLUCKSTADT, MS 39110
CLIENT:
ORSHAN CONSTRUCTION MANAGEMENT/DESIGN, INC.
CLINTON, MS

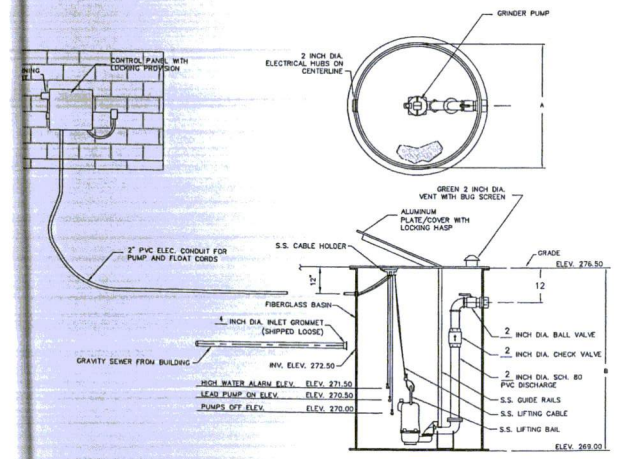
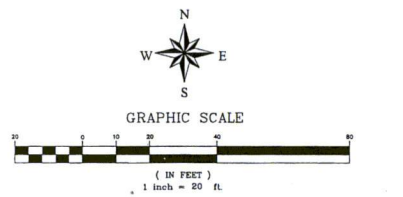
PROJECT:
PARVESH & GOEL SITE
SHEET CONTENTS:
UTILITY LAYOUT
SHEET NUMBER:
C3.0
PROJECT NUMBER:
B-3752



LEGEND

---	PROPERTY LINE
- - - -	EXISTING/PROPOSED EASEMENT
⊕	EXISTING MANHOLE
---	EXISTING SANITARY SEWER MAIN (SIZE AS SHOWN)
---	EXISTING WATER MAIN (SIZE AS SHOWN)
---	EXISTING GATE VALVE
⊕	EXISTING FIRE HYDRANT
⊕	PROPOSED SANITARY SEWER MANHOLE
---	PROPOSED SANITARY SEWER LINE (SIZE AS SHOWN)
---	PROPOSED SANITARY SEWER SERVICE LINE

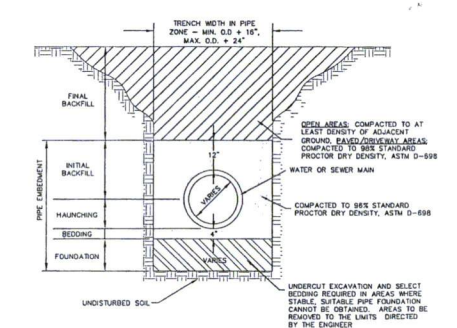
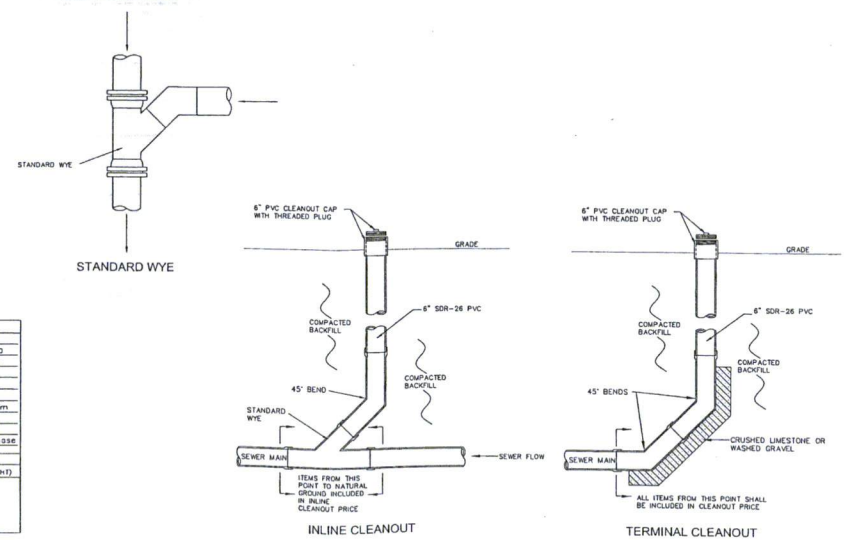
- NOTES:
- SEE NOTES ON SHEET 3 FOR MORE INFORMATION.
 - CONTRACTOR TO CONTACT MISSISSIPPI ONE CALL AT 801-362-4374 FOR A LOCATE PRIOR TO BEGINNING CONSTRUCTION.
 - CONTRACTOR TO VERIFY EXISTING LOCATION AND ELEVATION OF ALL UTILITY INFRASTRUCTURE REQUIRED FOR COMPLETION OF THIS PROJECT IN FULL. PRIOR TO BEGINNING ANY ASPECT OF CONSTRUCTION THIS INCLUDES ALL ON-SITE AND OFF-SITE UTILITIES AS REQUIRED. SHOULD ANY DISCREPANCIES BE FOUND THEY SHALL BE IMMEDIATELY BROUGHT TO THE ENGINEER'S ATTENTION IN WRITING TO RECEIVE FURTHER INSTRUCTION.
 - INVERT ELEVATIONS SHOWN ON THE PLANS AND CONSTRUCTION STAKES FOR THE STORM DRAIN STRUCTURES AND COLLECTS REPRESENT THE FLOWLINE. CONTRACTOR TO ACCOUNT FOR PIPE OR STRUCTURE THICKNESS WHEN INSTALLING.
 - CONTRACTOR SHALL COORDINATE ALL WORK DIRECTLY INVOLVING CROSSING OR IN THE VICINITY OF AN EXISTING UTILITY LINE WITH UTILITY PROVIDER/OWNER.
 - WATER AND SANITARY SEWER LINES TO BE INSTALLED ACCORDING TO THE PROJECT DETAILS AND SPECIFICATIONS.
 - CONTRACTOR TO COMPARE THE PROPOSED SIZE AND PROPOSED BUILDING TIE-IN LOCATION OF ALL WATER AND SANITARY SEWER LINES WITH THE BUILDING/PLUMBING PLANS PRIOR TO CONSTRUCTION.



PUMP SPECIFICATIONS

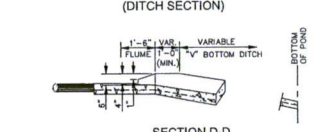
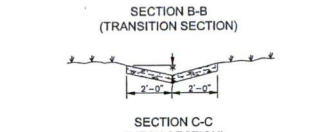
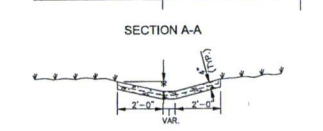
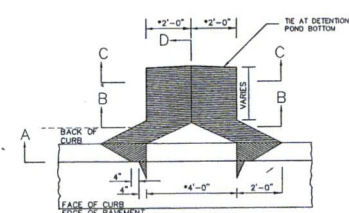
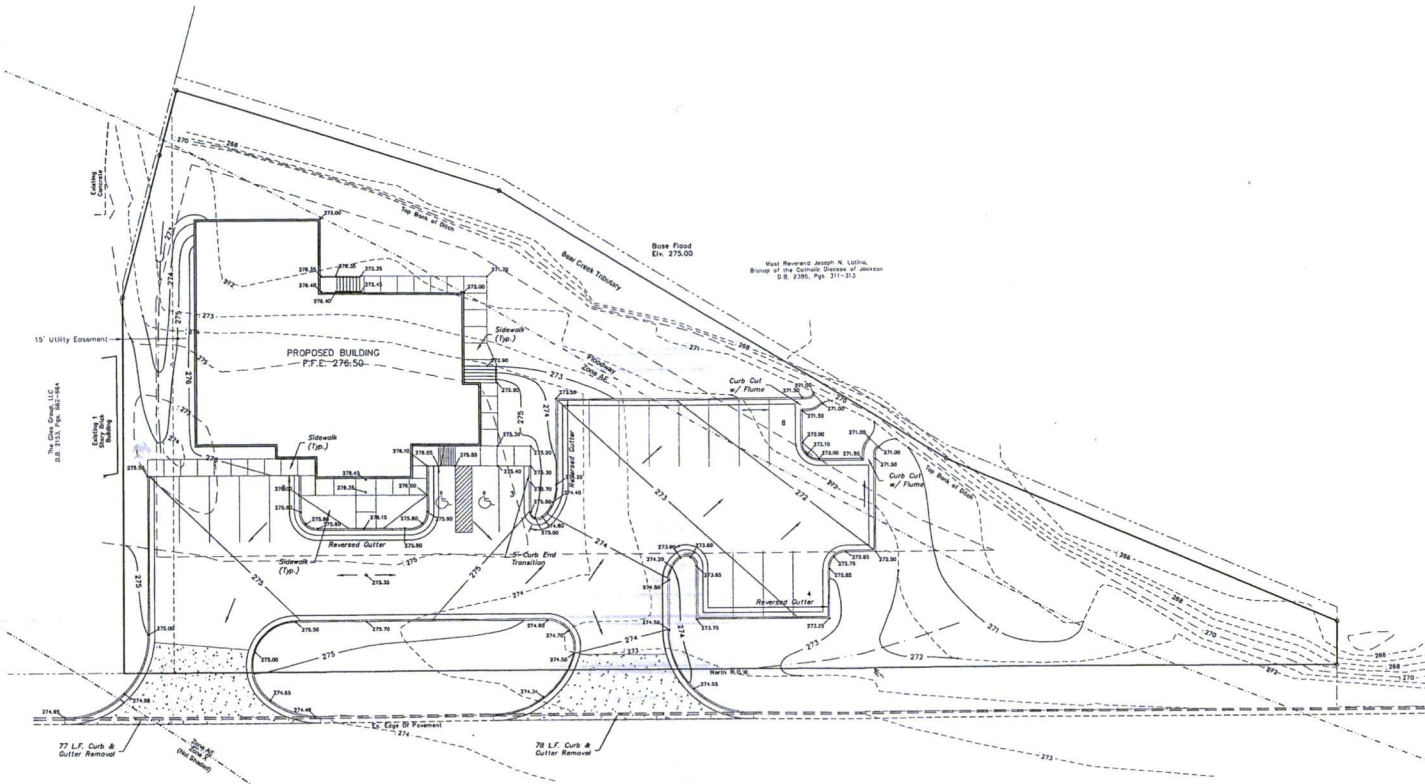
PUMPS REQUIRED	1
MANUFACTURER	HARTCO
MODEL NUMBER	GB219/1
PUMP SIZE	1.25"
CAPACITY EACH (GPM)	24
TOTAL HEAD (FEET)	35
IMPELLER DIAMETER	Full Trim
MOTOR HP REQUIRED	2
SPEED (RPM)	3450
ELECTRICAL	208 Volt 1 Phase

- LIFT STATION NOTES:**
- CONTRACTOR SHALL COMPLY WITH BEAR CREEK WATER ASSOCIATION'S POLICY FOR SINGLE-FAMILY PRESSURE SEWER CUSTOMERS AND THE MANUFACTURER'S RECOMMENDATIONS FOR ALL ASPECTS OF THE INSTALLATION OF THE LIFT STATION.
 - ALL LOCATIONS WHERE PIPES ENTER/LEAVE WETWELL SHALL BE MADE WATER TIGHT WITH WATER SLEEVE AND NON-SHINK GROUT.
 - LIFT STATION TO BE PLACED ON LEVEL SURFACE COMPACTED TO SPECIFICATIONS.
 - CONTRACTOR TO BACKFILL AROUND LIFT STATION WITH SELECT MATERIAL AND COMPACT AS DEFINED IN SPECIFICATION.
 - ALL VALVES ARE LOCATED INSIDE THE LIFT STATION.
 - PUMPING UNIT ELECTRICAL CONTROL PANEL CONNECTED TO HOME ELECTRICAL SYSTEM.



- TYPICAL TRENCH NOTES:**
- PIPE EMBEDMENT MATERIALS SHALL COMPLY WITH REQUIREMENTS OF SPECIFICATIONS.
 - FINAL BACKFILL SHALL BE NATIVE MATERIAL OR OPEN AREAS UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 - FINAL BACKFILL SHALL BE SELECT MATERIAL IN ALL TRENCHES CONSTRUCTED UNDER ROADWAYS, CURBED OR PAVED AREAS. MATERIAL SHALL EXTEND 3' BEYOND THE EDGE OF PAVING STRUCTURE(S).
 - TRENCH SETTLEMENT REPAIR IS THE CONTRACTOR'S RESPONSIBILITY DURING WARRANTY PERIOD.
 - SELECT BEDDING MATERIAL FOR PIPE EMBEDMENT WHICH CONSISTS OF BEDDING, HAUNCHING AND INITIAL BACKFILL ZONES SHALL BE ASSIGNED IN THE PER FOOT COST OF THE PIPE.
 - UNDERCUT EXCAVATION MAY BE REQUIRED IF MATERIAL AT PLANNED GRADE WILL NOT PROVIDE STABLE TRENCH BOTTOM FOR PIPE LAYING.
 - FOUNDATION SELECT BEDDING AND UNDERCUT EXCAVATION WILL BE PLACED AS DIRECTED BY THE ENGINEER AND PAID FOR BY THE OWNER AS NOTED ON THE BID SCHEDULE.
- TYPICAL TRENCH DETAIL FOR WATER AND SEWER LINES**

HOMA GRP19/1 SIMPLEX GRINDER PUMP STATION
N.T.S.

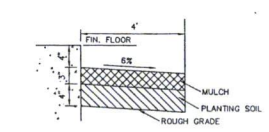
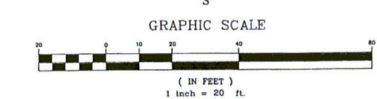


SECTION D-D
FLUME - TYPE "A"
(INTERMEDIATE RUNOFF THROUGH CURB & GUTTER)

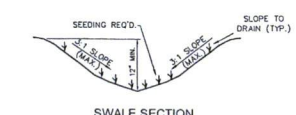
LEGEND

---	PROPERTY LINE
---	EXISTING/PROPOSED EASEMENT
---	EXISTING FLOOD ZONE
---	EXISTING FLOODWAY
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED DIRECTION OF STORM WATER RUNOFF/SWALE LOCATION
---	PROPOSED SPOT ELEVATION

- NOTES:**
- SEE NOTES ON SHEET 3 FOR MORE INFORMATION.
 - CONTRACTOR TO CONTACT MISSISSIPPI ONE CALL AT 801-362-4374 FOR A LOCATE PRIOR TO BEGINNING CONSTRUCTION.
 - THIS PARCEL IS LOCATED IN FLOOD ZONE AE ACCORDING TO FLOOD INSURANCE RATE MAP NO. 280800415F, COMMUNITY PANEL NO. 280228 0415 F, EFFECTIVE DATE MARCH 17, 2010.
 - ALL FENCING THAT IS TO BE INSTALLED SHALL BE INSTALLED TO ALLOW PASSAGE OF STORM WATER RUNOFF.
 - SLOPES THAT ARE GREATER THAN 3:1 SHALL RECEIVE SOLID SOIL.
 - ALL DISTURBED AREAS ARE TO BE REPAIRED TO AS GOOD AS THE ORIGINAL CONDITION OR BETTER. PICTURE DOCUMENTATION OF THESE AREAS SHALL BE PROVIDED BY THE CONTRACTOR PRIOR TO DISTURBING.



TYPICAL LANDSCAPING BED @ BLDG.



SWALE SECTION

BENCHMARK
Engineering & Surveying, LLC
101 Highgate Court, Suite B, Brandon, Mississippi 39042
Office: 601.833.8888
E-mail: benchmark@benchmarkms.net

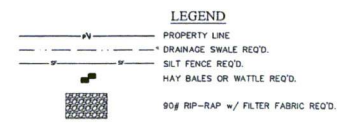
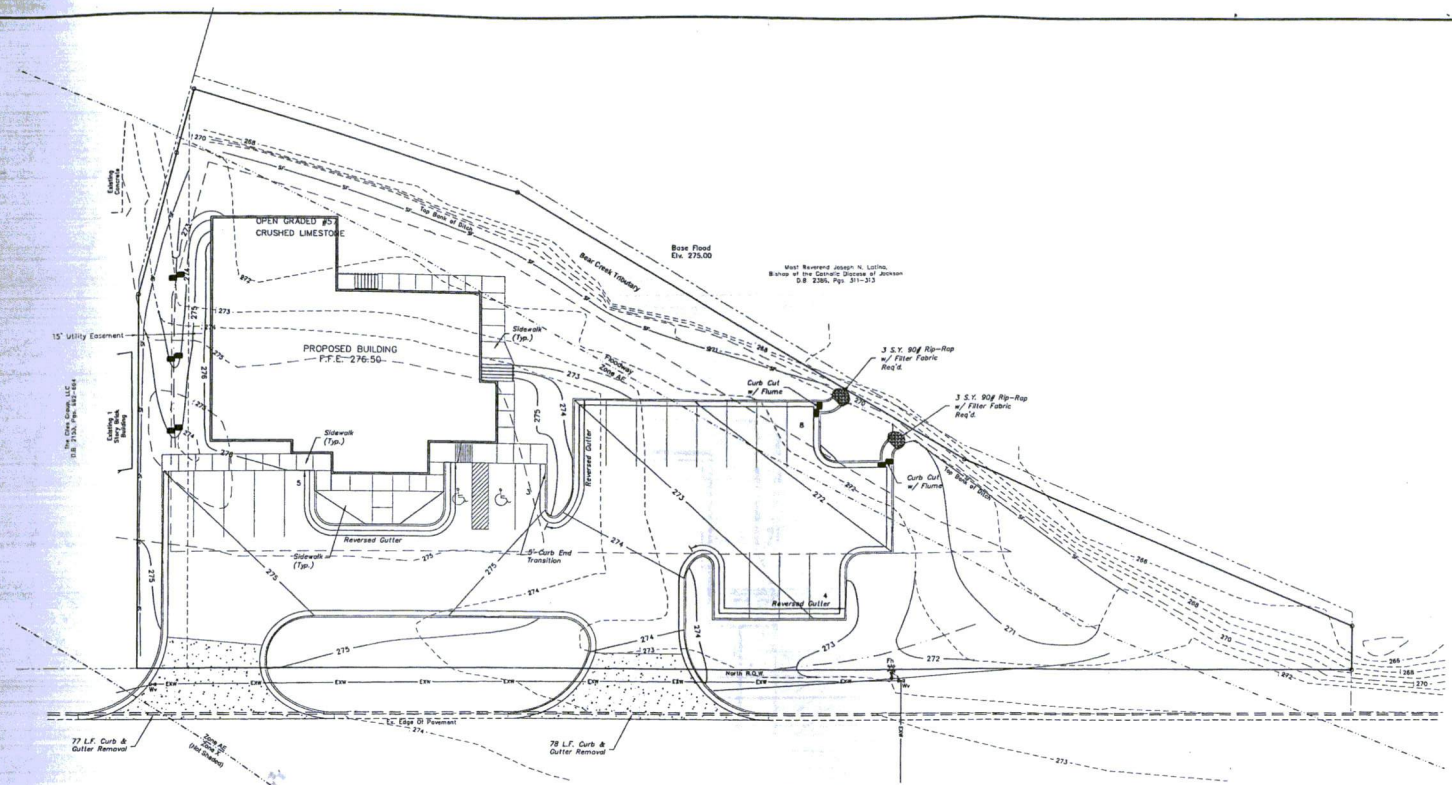
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CHECKED: GAB
REF C/A:
EG SURFACE:
EG SURFACE:

PROJECT LOCATION:
GLUCKSTADT ROAD
CITY LIMITS OF GLUCKSTADT, MS 39110
CLIENT:
SIAMER ORMAN CONSTRUCTION MANAGEMENT/DESIGN, INC.
CLINTON, MS

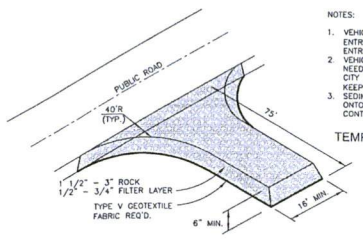
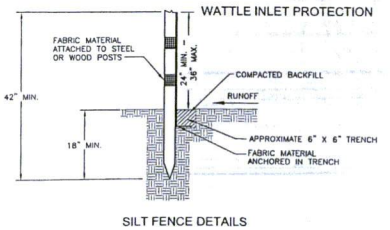
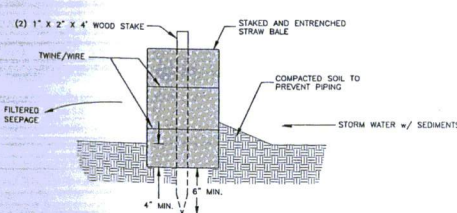
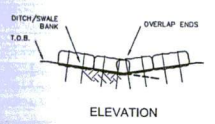
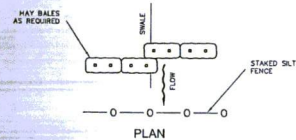
PROJECT:
PARYESH & GOEL SITE
SHEET CONTENTS:
GRADING & DRAINAGE LAYOUT

SHEET NUMBER:
C3.1

PROJECT NUMBER:
B-3752

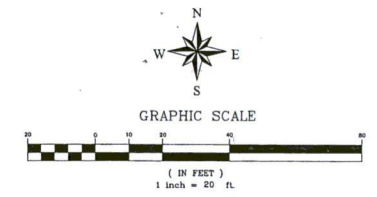


- EROSION CONTROL NOTES:**
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FILL OUT A SMALL CONSTRUCTION NOTICE OF INTENT (SCNO). A COPY OF THE SCNO MUST BE KEPT READILY AVAILABLE AT THE JOB SITE. ALL REQUIREMENTS OF THE SCNO ARE THE CONTRACTOR'S RESPONSIBILITY INCLUDING BUT NOT LIMITED TO ALL REQUIRED INSPECTIONS, WEEKLY REPORTS AND MAINTENANCE OF THE SITE.
 - EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IMPLEMENTED PRIOR TO STARTING ANY CONSTRUCTION ACTIVITIES THAT DISTURB EXISTING GROUND.
 - CONTRACTOR IS TO EVALUATE ALL STORM WATER MANAGEMENT CONTROLS A MINIMUM OF ONCE PER WEEK AND AFTER RAINFALL EVENTS TO DETERMINE EFFECTIVENESS OF THE EROSION AND SILTATION CONTROL MEASURES. ADDITIONAL MEASURES TO BE INSTALLED AS NEEDED TO CONTROL SEDIMENT (ABSORBED). INSPECTION REPORTS TO BE FILLED OUT ONCE PER WEEK NOTING ALL ACTIONS (IF ANY) REQUIRED.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN AND REPAIR ALL TEMPORARY EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION. NO SEPARATE PAYMENT SHALL BE MADE FOR MAINTENANCE OR REPLACEMENT OF ANY TEMPORARY EROSION CONTROL MEASURES.
 - TEMPORARY EROSION CONTROL MEASURES DEPICTED ON THIS DRAWING ARE MINIMUM REQUIREMENTS TO BE UTILIZED IN DEVELOPMENT OF THE SITE-SPECIFIC STORMWATER POLLUTION PREVENTION PLAN AND ARE NOT MEANT TO ADDRESS ALL OF THE REQUIREMENTS OF THE CONSTRUCTION GENERAL PERMIT.
 - IT IS THE INTENT OF THE SPECIFICATIONS THAT THE WORK SHALL PROCEED IN A MANNER AND SEQUENCE TO ENSURE THAT ESTABLISHMENT OF PERMANENT EROSION CONTROL ITEMS ARE ACCOMPLISHED IMMEDIATELY AFTER FINISH GRADES.
 - EFFECTIVE USE OF TEMPORARY MEASURES, INCLUDING TEMPORARY SEEDING, SHALL BE MADE SO AS TO PREVENT OR MINIMIZE EROSION AND SILTATION UNTIL PERMANENT MEASURES ARE ESTABLISHED.
 - CONTRACTOR TO CONTACT MISSISSIPPI ONE CALL @ 801-362-4374 AT LEAST 48 HOURS BEFORE IMPROVEMENTS ARE MADE.
 - CONTRACTOR SHALL BE REQUIRED TO FURNISH ALL MATERIALS AND PERFORM ALL WORK FOR THE PROPER INSTALLATION, MAINTENANCE, AND REMOVAL OF TEMPORARY EROSION CONTROL MEASURES TO CONTROL SILTATION.
 - SEE THE EROSION CONTROL DETAIL SHEET FOR MORE DETAIL ON THE INSTALLATION OF THE REQUIRED EROSION CONTROL MEASURES.
 - ONCE THE PERMANENT EROSION CONTROL MEASURES ARE IN PLACE A FINAL SITE INSPECTION IS TO BE COORDINATED BY THE CONTRACTOR WITH THE ENGINEER AND THE OWNER. ONCE SITE MEETS ALL PARTIES SPECIFICATIONS THE CONTRACTOR WITH BE RELIEVED OF THE RESPONSIBILITIES OF THIS CONTRACT.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE EROSION CONTROL MEASURES SHOULD, TO THE EXTENT PRACTICABLE:
 - DIVERT UP-SLOPE WATER AROUND DISTURBED AREAS OF THE SITE.
 - LIMIT THE EXPOSURE OF DISTURBED AREAS TO THE SHORTEST AMOUNT OF TIME POSSIBLE.
 - MINIMIZE THE AMOUNT OF SURFACE AREA THAT MUST BE DISTURBED.
 - IMPLEMENT BEST MANAGEMENT PRACTICES TO MITIGATE ADVERSE IMPACTS FROM STORM WATER RUNOFF.
 - REMOVE SEDIMENT THAT WOULD CONTRIBUTE TO OR CAUSE ADVERSE IMPACTS TO STATE WATERS FROM STORM WATER BEFORE IT LEAVES THE SITE.
 - OWNER MAY USE STAKED SOLID SOO TREATMENT (WIDTH OF CURB CUT 12' X 8' LENGTH) OR A DECORATIVE ROCK IN LIEU OF RIP-RAP @ CURB CUTS. CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO ORDERING MATERIALS.



- HAY BALE INSTALLATION NOTES:**
- HAY BALES SHALL BE TRENCHED 3" TO 4" AND STAKED WITH (2) 1"x2"x4" WOOD STAKES PER BALE.
 - SILT FENCE SHALL BE DOWN STREAM OF HAY BALES.
 - ADJACENT BALES SHALL BE BUTTED FINELY TOGETHER. UNWADABLE EDGES SHALL BE PLUGGED WITH HAY OR STRAW TO PREVENT SILT FROM PASSING.

- NOTES:**
- GEOTEXTILE FABRIC SHALL BE A MINIMUM OF 36" IN WIDTH. STEEL POSTS SHALL BE 5' IN HEIGHT AND OF THE SELF FASTENER ANGLE STEEL TYPE.
 - WOOD POSTS SHALL BE A MINIMUM OF 5' IN HEIGHT AND 4" OR MORE IN DIAMETER AND SPACED AT 10' CENTERS.
 - WOODEN STAKES SHALL BE A MINIMUM OF 3' IN HEIGHT AND 1" X 2" AND SHALL BE USED AS NEEDED IN BETWEEN WOODEN POSTS BUT SPACED NO MORE THAN 3' APART AND DRIVEN 8" INTO GROUND.
 - FENCE SHALL BE FASTENED WITH NOT LESS THAN 9 GAGE STAPLES 1" LONG FOR WOODEN POSTS AND 3/4" FOR WOODEN STAKES.
 - ALLOW A 6" OVERLAP OF FABRIC AT JOINTS.



BENCHMARK
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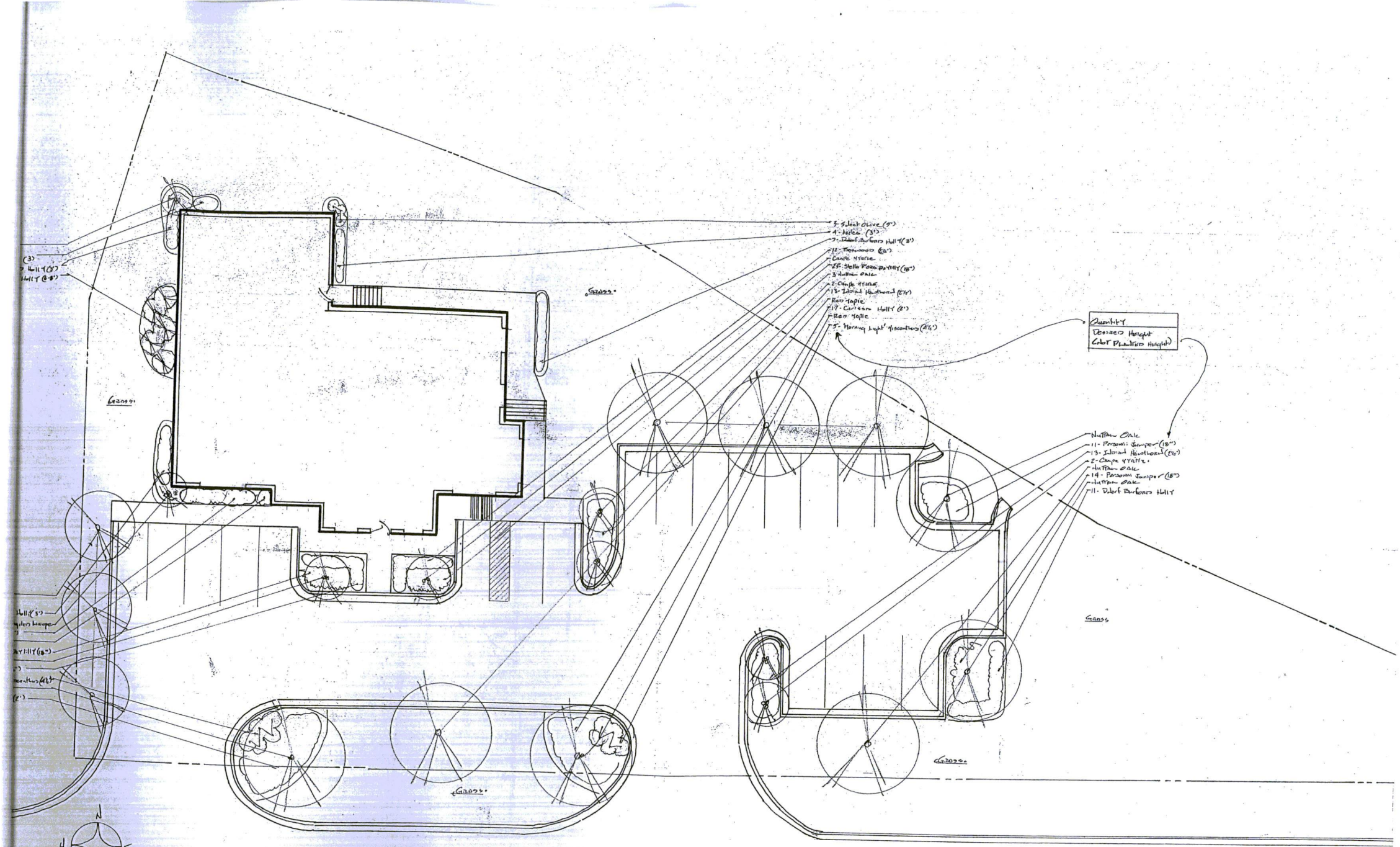
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LEG. SURFACE		LEG. SURFACE		LEG. SURFACE	
LEG. SURFACE		LEG. SURFACE		LEG. SURFACE	

PROJECT LOCATION:
 GLUCKSTADT ROAD
 CITY LIMITS OF GLUCKSTADT, MS 39110
 CLIENT:
 ORBMAN CONSTRUCTION MANAGEMENT/DESIGN, INC.
 CLANTON, MS

PROJECT:
PARVESH & GOEL SITE
 SHEET CONTENTS:
EROSION CONTROL LAYOUT

SHEET NUMBER
C3.2

PROJECT NUMBER
 B-3752



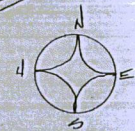
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Hall (20)
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Hall (5)
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Hall (20)

- 5. Plant (20)
- 4. Plant (20)
- 7. Plant (20)
- 12. Plant (20)
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- 27. Plant (20)
- 28. Plant (20)
- 29. Plant (20)
- 30. Plant (20)

Quantity
Species
Height
Color
Planting Height

- 11. Plant (20)
- 12. Plant (20)
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- 14. Plant (20)
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- 20. Plant (20)



Scale: 1"=10'

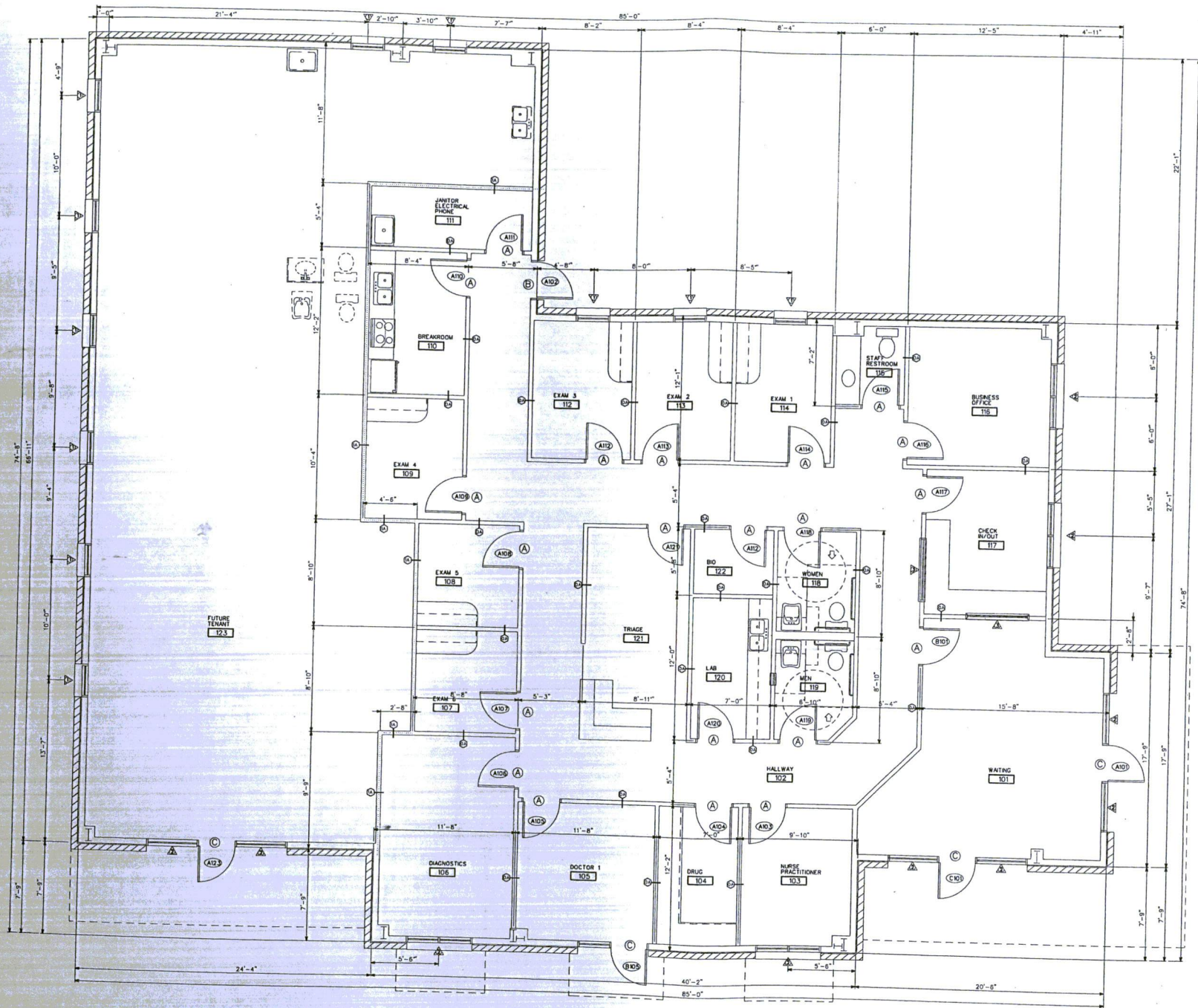
Landscape Plan For

DR. PARVESH GOEL

By: Clinton Streetery, Landscape Architect



12-15-13



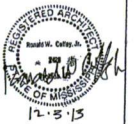
01 FIRST FLOOR PLAN
A2.0
1/4" = 1'-0"

COFFEY
ARCHITECT

1814 N. COLE Madison, Mississippi 39116
Phone: 601.323.3448
csoffeyr2@gmail.com

A PROPOSED BUILDING FOR:
DR. PARVESH GOEL
MADISON COUNTY, MISSISSIPPI

DATE: DECEMBER 3, 2013
REVISION:



12-5-13
A2.0

GENERAL PROJECT INFORMATION

PROJECT NAME: NEW BUILDING FOR DR. PARVESH GOEL
 PROJECT ADDRESS: GLUCKSTADT ROAD
 GLUCKSTADT, MISSISSIPPI

PROPOSED USE: MEDICAL

CODE ENFORCEMENT: COUNTY OF MADISON

ADOPTED CODES:
 BUILDING CODE 2003 INTERNATIONAL BUILDING CODE
 ELECTRICAL CODE 2002 NATIONAL ELECTRICAL CODE
 MECHANICAL CODE 2003 INTERNATIONAL MECHANICAL CODE

ACCESSIBILITY: 1994 ADA STANDARDS FOR ACCESSIBILITY

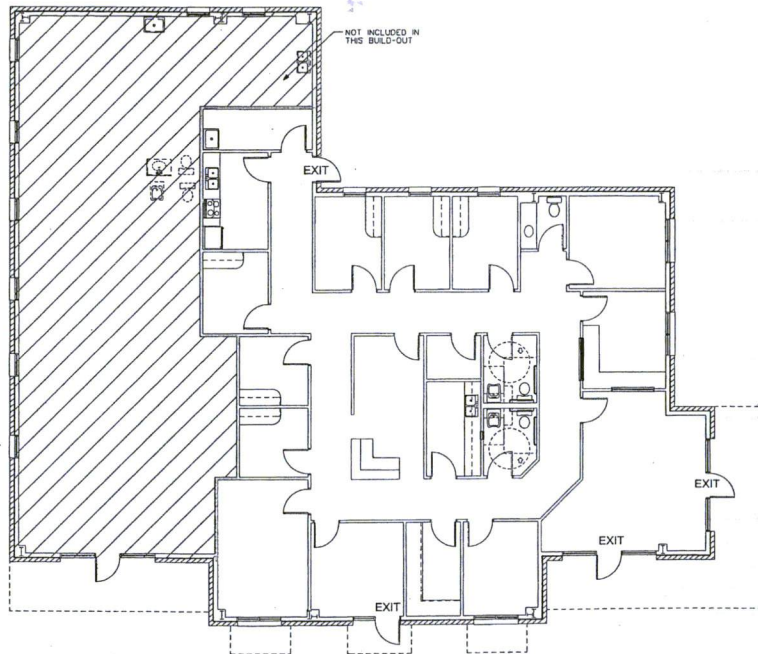
BUILDING DATA:
 OCCUPANCY TYPE: GROUP B
 BUILDING OCCUPANCY: B
 OCCUPANCY SEPARATION: 1 HR (TABLE 608.3.3)
 CONSTRUCTION TYPE: TYPE II A
 AUTOMATIC SPRINKLER SYSTEM: NON-SPRINKLED
 BUILDING AREA: 4,900 SQ. FT.
 PROJECT AREA: 3,119 SQ. FT.
 MAXIMUM FLOOR AREA ALLOWANCE (TABLE 1004.1.1) 100 GSF PER OCCUPANT

MEANS OF EGRESS

REQUIRED EGRESS WIDTH: 51.31"
 ACTUAL EGRESS WIDTH PROVIDED: 60"
 MAXIMUM TRAVEL DISTANCE ALLOWED TO AN EXIT: 250'
 COMMON PATH OF TRAVEL: NOT MORE THAN 75'
 DEAD END CORRIDORS: NOT MORE THAN 20'
 REQUIRED EXITS: 1 (TABLE 1015.1)

FIRE RESISTANCE RATINGS

NONBEARING WALLS AND PARTITIONS: 0 HOUR



01 LIFE SAFETY PLAN
 A2.1

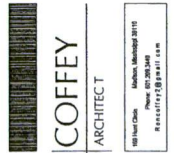
1/8" = 1'-0"

NO.	ROOM	FLOORS	WALLS	CEILING	C.F.T.
101	REARING	STAINED AND SCORED CONC.	SHT RK (PAINTED)	SUSPENDED ACUSTICAL	10'-0"
102	HALLWAY	STAINED AND SCORED CONC.	SHT RK (PAINTED)	SUSPENDED ACUSTICAL	10'-0"
103	MURSE PRACTITIONER	STAINED CONCRETE	SHT RK (PAINTED)	SUSPENDED ACUSTICAL	10'-0"
104	DRUG	STAINED CONCRETE	SHT RK (PAINTED)	SUSPENDED ACUSTICAL	10'-0"
105	DOCTOR 1	STAINED CONCRETE	SHT RK (PAINTED)	SUSPENDED ACUSTICAL	10'-0"
106	DIAGNOSTICS	STAINED CONCRETE	SHT RK (PAINTED)	SUSPENDED ACUSTICAL	10'-0"
107	EXAM ROOM 8	STAINED CONCRETE	SHT RK (PAINTED)	SUSPENDED ACUSTICAL	10'-0"
108	EXAM ROOM 9	STAINED CONCRETE	SHT RK (PAINTED)	SUSPENDED ACUSTICAL	10'-0"
109	EXAM ROOM 4	STAINED CONCRETE	SHT RK (PAINTED)	SUSPENDED ACUSTICAL	10'-0"
110	BREAKROOM	STAINED CONCRETE	SHT RK (PAINTED)	SUSPENDED ACUSTICAL	10'-0"
111	JUNCTION ELECTRICAL	STAINED CONCRETE	SHT RK (PAINTED)	SUSPENDED ACUSTICAL	10'-0"
112	EXAM ROOM 2	STAINED CONCRETE	SHT RK (PAINTED)	SUSPENDED ACUSTICAL	10'-0"
113	EXAM ROOM 2	STAINED CONCRETE	SHT RK (PAINTED)	SUSPENDED ACUSTICAL	10'-0"
114	EXAM ROOM 1	STAINED CONCRETE	SHT RK (PAINTED)	SUSPENDED ACUSTICAL	10'-0"
115	STAFF 3/IN	STAINED CONCRETE	SHT RK (PAINTED)	SUSPENDED ACUSTICAL	10'-0"
116	BUSINESS OFFICE	STAINED CONCRETE	SHT RK (PAINTED)	SUSPENDED ACUSTICAL	10'-0"
117	CHECK IN/OUT	STAINED CONCRETE	SHT RK (PAINTED)	SUSPENDED ACUSTICAL	10'-0"
118	WOMEN	STAINED CONCRETE	SHT RK (PAINTED)	SUSPENDED ACUSTICAL	10'-0"
119	MEN	STAINED CONCRETE	SHT RK (PAINTED)	SUSPENDED ACUSTICAL	10'-0"
120	LAB	STAINED CONCRETE	SHT RK (PAINTED)	SUSPENDED ACUSTICAL	10'-0"
121	TRAGE	STAINED CONCRETE	SHT RK (PAINTED)	SUSPENDED ACUSTICAL	10'-0"
122	PH	STAINED CONCRETE	ENTRYS-GRANITE	SUSPENDED ACUSTICAL	10'-0"
123	FUTURE	UNFINISHED		NONE	NONE

TYPE	DESCRIPTION
A	NEW 3068 SOLID CORE BIRCH DOOR UNIT WITH HARDWARE
B	NEW 3070 1/4" DOOR W LOCKSET, DEAD BOLT AND CLOSURE
C	NEW EXTERIOR 3070 GLASS DOOR IN STOREFRONT WINDOW UNIT

NOTE: LOCKSETS, PASSAGE, PUSH PULLS STOPS AND ALL HARDWARE AS REQUIRED BY CODE AND OWNERS WISH.

TYPE	DESCRIPTION
1	3044 MAGNOLIA SERIES 400 VINYL WINDOW W/ DRUGS
2	BRONZE ALUMINUM BRONZE TINTED INSULATED STOREFRONT WINDOW UNIT
3	5030 INTERIOR SLIDING GLASS WITH LOCK

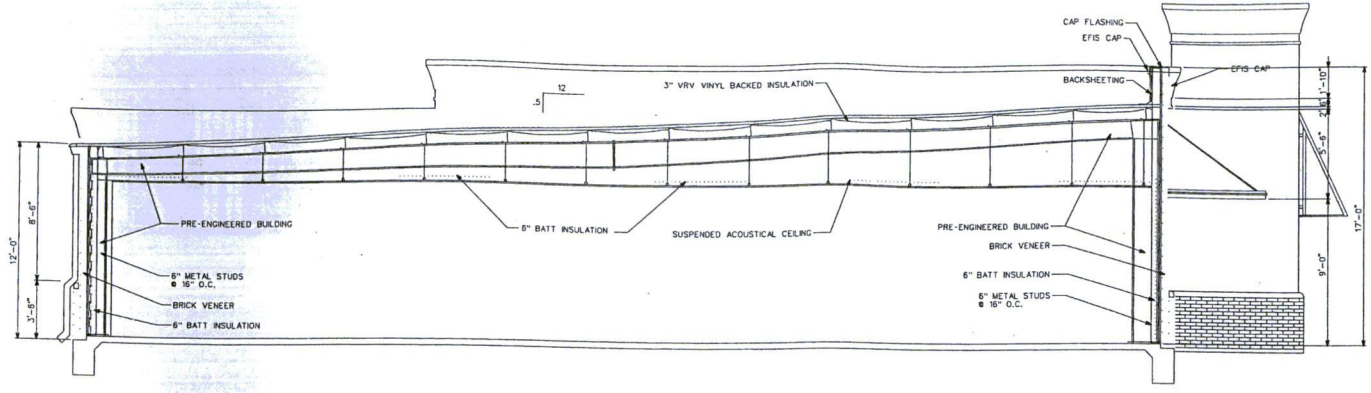


A PROPOSED BUILDING FOR:
DR. PARVESH GOEL
 MADISON COUNTY, MISSISSIPPI

DATE: DECEMBER 3, 2013
 REVISION:



A2.1



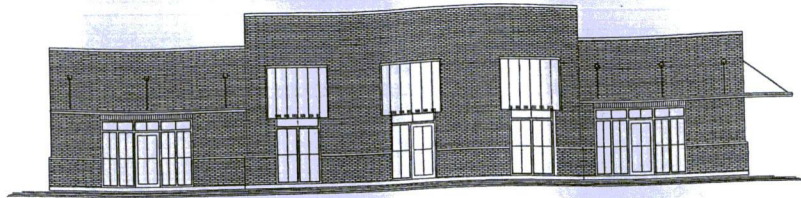
01 BUILDING SECTION
 A2.2 1/4" = 1'-0"

A PROPOSED BUILDING FOR:
DR. PARVESH GOEL
 MADISON COUNTY, MISSISSIPPI

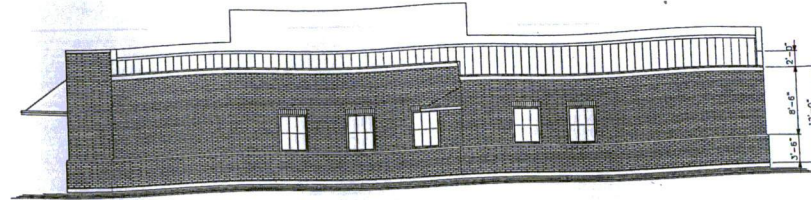
DATE: DECEMBER 3, 2013
 REVISION:



A2.2



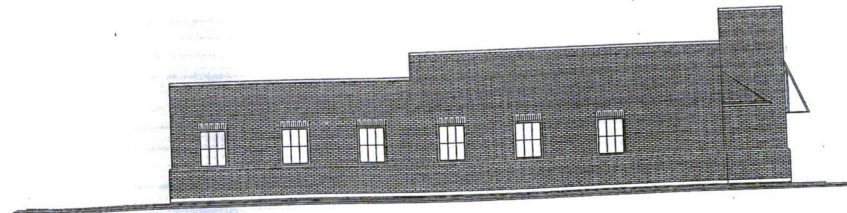
01 SOUTH ELEVATION
A2.0 1/8" = 1'-0"



01 NORTH ELEVATION
A2.0 1/8" = 1'-0"



01 EAST ELEVATION
A2.0 1/8" = 1'-0"



01 WEST ELEVATION
A2.0 1/8" = 1'-0"

COFFEY
ARCHITECT
100 West Olive
Madison, Mississippi 39101
Phone: (662) 927-1111
Fax: (662) 927-1112

A PROPOSED BUILDING FOR:
DR. PARVESH GOEL
MADISON COUNTY, MISSISSIPPI

DATE: DECEMBER 3, 2013
REVISION:



A2.4